

GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL EXAMINE ALL AREAS IN WHICH HIS/HER WORK IS TO BE INSTALLED, AND SHALL REPORT ANY UNSUITABLE CONDITIONS. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR CONDITIONS OF THE FINISHED WORK AND NO CLAIM AS TO DEFECTS IN UNDERLYING WORK IS CONSIDERED AFTER WORK UNDER THIS CONTRACT IS STARTED.
2. THE CONTRACTOR, BEFORE STARTING ANY WORK, SHALL VERIFY ALL DIMENSIONS AND LEVELS GIVEN FOR WORK UNDER THIS CONTRACT, IN CONJUNCTION WITH ARCHITECT'S or ENGINEER'S DRAWINGS AND DETAILS.
3. DEMOLITION SHALL BE CARRIED OUT ACCORDING TO THE RULES OF THE DEPARTMENT OF BUILDINGS AND NOT WITHOUT TIMELY NOTIFICATION TO THE BUILDING DEPARTMENT.
4. BUILDING TO CONFORM WITH APPLICABLE PROVISIONS OF THE MULTIPLE DWELLING HOUSING MAINTENANCE CODE & BUILDING DEPARTMENT'S RULES AND REGULATIONS.
5. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE RULES OF THE BUILDING CODE AND ANY OTHER AUTHORITY HAVING JURISDICTION. NO WORK SHALL BEGIN AT THE SITE UNTIL BUILDING DEPARTMENT APPROVAL AND REQUIRED PERMITS HAVE BEEN OBTAINED.
6. CONTROLLED INSPECTIONS:
 - FIRE STOPPING
 - MECH./ VENTILATION
 - STRUCTURAL/STABILITY
 - STEEL: BOLTED CONNECTIONS AND WELDING
 - CONCRETE/FOOTINGS
 - REINFORCING

TENANT SAFETY NOTES

1. CONSTRUCTION WILL BE CONFINED TO AREA INDICATED, AND WILL NOT CREATE DUST, DIRT OR OTHER SUCH INCONVENIENCES TO APARTMENT UNITS WITHIN THE BUILDING.
2. CONSTRUCTION OPERATION WILL NOT BLOCK HALLWAYS OR MEANS OF EGRESS FOR TENANTS OF THE BUILDING.
3. CONSTRUCTION OPERATION WILL NOT INVOLVE INTERRUPTION OF HEATING, GAS, WATER OR ELECTRICAL SERVICES TO OTHER OCCUPANTS OF THE BUILDING.
4. CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS DETERMINED BY THE BUILDING'S REGULATIONS.
5. THE STRUCTURAL INTEGRITY OF THE BUILDING IS TO BE PROTECTED AT ALL TIMES.
6. BUILDING SECURITY TO BE MAINTAINED TO PREVENT UNAUTHORIZED PERSONS FROM ENTERING BUILDING.
7. ALL EXISTING EXITS, FIRE PROTECTION DEVICES AND ALARMS SHALL BE CONTINUOUSLY MAINTAINED IN WORKING ORDER.

HOUSING MAINTENANCE NOTES

1. PAINTING OF PUBLIC PARTS & WITHIN DWELLING TO COMPLY WITH SECTION D26-12.01 H.M.C. & SECTION 80 M.D.L.
2. PAINTING OF WINDOW FRAMES & FIRE ESCAPES TO COMPLY WITH SECTION D26-12.03 H.M.C.
3. WALLS OF COURTS & SHAFTS TO BE OF LIGHT COLORED SURFACE AS PER SECTION D26-12.05 H.M.C. & SECTION 29 M.D.L.
4. PREMISES TO BE MAINTAINED & KEPT FREE OF RODENT & INSECT INFESTATION AS PER SECTION D26-13.03 & D26-13.05 H.M.C.
5. RECEPTACLES FOR THE COLLECTION OF WASTE MATTER TO BE PROVIDED AS PER SECTION D26-14.03 & D26-14.05 H.M.C. & SECTION 81 M.D.L.
6. DRAINAGE OF ROOFS, COURTS, & YARDS TO COMPLY WITH SECTION D26-16.03 H.M.C. & SECTION 77 SUBD. 3 M.D.L.
7. YEARLY INSPECTION OF CENTRAL HEATING PLANT BY QUALIFIED PERSON TO BE MADE AS PER SECTION D26-17.05 H.M.C. CENTRAL HEAT & HOT WATER TO BE PROVIDED AS PER SECTION 79 SUBD. 1 M.D.L.
8. PROPER ELECTRIC LIGHTING EQUIPMENT WITHIN DWELLING TO BE PROVIDED & MAINTAINED AS PER SECTION D26-19.01, D26-19.03 & D26-19.05 H.M.C.
9. PROPER ELECTRIC LIGHTS TO BE PROVIDED NEAR ENTRANCE WAYS, YARDS, & COURTS AS PER SECTION D26-19.07 H.M.C. ON SEPARATE CIRCUITS OR CONNECTED TO HOUSE LINE SERVICING PUBLIC HALLS, & IN ACCORDANCE WITH REQUIREMENTS & APPROVAL OF THE DEPT. OF WATER SUPPLY, GAS & ELECTRICITY AS PER SECTION 35 & 20, SUBD. 7A M.D.L. & DEPT. RULES & REGULATIONS.
10. B.S.A. APPROVED PEEPHOLES APPROXIMATELY 5 FEET ABOVE FINISHED FLOOR TO BE PROVIDED IN ENTRANCE DOORS OF DWELLING UNITS AS PER SECTION D26-20.01 H.M.C. & DEPT. RULES & REGULATIONS.
11. PROPERLY MOUNTED & SECURED POLISHED METAL VIEWING MIRRORS TO BE PROVIDED WITH SELF SERVICE ELEVATORS (IF ANY) AS PER SECTION D26-20.03 H.M.C. & DEPT. RULES & REGULATIONS.
12. KEY LOCKS IN THE ENTRANCE DOORS OF EACH DWELLING UNIT WITH AT LEAST ONE KEY TO BE PROVIDED BY OWNER AS PER SECTION D26-20.05 H.M.C. HEAVY DUTY LATCH SET DEAD BOLT THUMB TURN INSIDE.
13. APPROVED TYPE MAIL RECEPTACLES & DIRECTORY OF PERSONS LIVING IN THE DWELLING TO BE PROVIDED BY OWNER AS PER SECTION D26-12.01 H.M.C. & REGULATIONS OF THE POST OFFICE DEPT. & SECTION 57 M.D.L.
14. PROPER FLOOR SIGNS TO BE PROVIDED IN PUBLIC HALL NEAR STAIRS & ELEVATOR WITHIN STAIR ENCLOSURE AS PER SECTION D26-21.03 H.M.C. & DEPT. RULES & REGULATIONS.
15. PROPER STREET NUMBER TO BE PROVIDED IN FRONT ON DWELLING AS PER SECTION 82(3)-1.0 ADMIN. CODE, SEC. D26-21.05 H.M.C. & RULES & REGULATIONS OF BOROUGH PRESIDENT.
16. PROPER JANITORIAL SERVICES TO BE PROVIDED AS PER SECTION D26-22.03 & D26-22.5 H.M.C.
17. EVERY KITCHEN & KITCHENETTE TO BE PROVIDED WITH SINK HAVING MINIMUM 2" WASTE & TRAP PER SECTION D26-32.01 H.M.C.
18. ALL COMBUSTIBLE MATERIAL WITHIN ONE FOOT OF COOKING APPARATUS TO BE PROPERLY FIRE RETARDED & MINIMUM 2 FOOT CLEARANCE MAINTAINED ABOVE EXPOSED COOKING SURFACE. COMBUSTIBLE MATERIAL BETWEEN 2' & 3' ABOVE EXPOSED SURFACE TO BE FIRE RETARDED. SECTION D26-32.05 H.M.C. & DEPT. RULES & REGULATIONS, SEC. 33, SUBD. 3 M.D.L.

EXISTING CERTIFICATE OF OCCUPANCY:
#173454 DATED DEC 8, 1960 FOR FACTORY AND GARAGE FOR 4 MOTOR VEHICLES

CONSTRUCTION CLASSIFICATION: CLASS 3
NON-FIRE PROOF CONSTRUCTION PER 1938 CODE

ZONING NOTES	
1ST FLOOR EXISTING STRUCTURE COMPLIES WITH ZR-15, PER 123-67 RESIDENTIAL CONVERSION	
15-011 APPLICABILITY WITHIN SPECIAL DISTRICTS	CONFORMS
15-024NOTICE OF FILING	WILL COMPLY
15-025 DOUBLE GLAZED WINDOWS	CONFORMS
15-112 LIGHT AND AIR	SEE CALCS IN PLAN
15-12 OPEN SPACE EQUIVALENT	N.A.
"E" ZONING DESIGNATION:	OPPN 1/03 AND LITTLE E DEP APPROVAL ONLY REQUIRED IF THE ENLARGEMENT INVOLVES EXCAVATION/FOUNDATI ON WORK.

19. NO KITCHEN SHALL BE OCCUPIED FOR SLEEPING PURPOSES SEC. D26-23.05 H.M.C.
20. REGISTRATION STATEMENT TO BE FILED AS PER SECTION D26-41.01 & D26-41.03 H.M.C.
21. REGISTRATION IDENTIFICATION SIGN CONTAINING DWELLING SERIAL NUMBER TO BE POSTED AS PER SECTION D26-41.15 H.M.C.
22. INDENTIFICATION OF MANAGING AGENT OR OWNER TO BE INDICATED ON TENANTS RECEIPT AS PER SECTION D26-41.17 H.M.C.
23. ALL BATHSROOMS, TOILETS & BATHING COMPARTMENTS TO HAVE CERAMIC TILE FLOOR & 6" MINIMUM CERAMIC TILE BASE WALLS & CEILINGS PLASTER AS PER SECTION D26-31.03 H.M.C.
24. ALL DOORS LEADING TO PUBLIC HALLS SHALL BE SELF CLOSING. NO TRANSOMS OR PLAIN GLASS PANELS.
25. BUILDING TO COMPLY WITH SECTION 64 M.D.L. GAS METERS, GAS APPLIANCES & ARTIFICIAL LIGHTING.
26. BUILDING TO COMPLY WITH SECTION D26-33.03 H.M.C. MAXIMUM OCCUPANCY MIN. ROOM AREA, ART. 33, D26-33.01 SUBD. B & E.
27. ENTIRE BUILDING TO COMPLY WITH LOCAL LAWS APPLICABLE TO ART. 6 WITH H.M.C. & DEPT. RULES & REGULATIONS.
28. ALL NEWLY CREATED PARTITIONS IN HALLS TO BE FIRE RETARDED ON BOTH SIDES & FIRE STOPPED AT TOP & BOTTOM AS PER DEPT. RULES & REGULATIONS, RULE 1.2.10 & RULE 1.7.

ZONING NOTES (CONT.)		
SINGLE STORY ADDITION ON SECOND LEVEL COMPLIES WITH ZR-23 AND ZR-123 AND ZR-77 FOR MIXED R6A AND MX-8 DISTRICT		
TOTAL EXISTING LOT AREA	24.9 x ±101 =	2526 sf
LOT AREA IN MX-8, MI-2/R6A	24.9 x ±90 =	2255 sf
LOT AREA IN R6A/C2-4 OVERLAY	24.9 x ±11	271 sf
REQD. MAX FLOOR AREA IN MX-8, MI-2/R6A (123-144, 23-942, 123-63)	2255 x 2.7 =	6088 sf
REQD. MAX FLOOR AREA IN R6A/C2-4 OVERLAY (123-144, 23-942, 123-63)	271sf x 2.7 =	731 sf
TOTAL REQ'D MAX FLOOR AREA	6088 + 731 =	6819 sf
EXISTING FLOOR AREA	24.9 X ±101 =	2526 sf
PROPOSED FLOOR AREA OF NEW ADDITION	24.9 X 50	1245 sf
PROPOSED TOTAL FLOOR AREA	(24.9 X 101 EXIST.) + (24.9 X 50 PROPOSED) =	3783 sf
REQD. MAX LOT COVERAGE IN MX-8, MI-2/R6A (123-145, 123-63, 77-24)	2255 X 0.60 =	1353 sf
REQD. MAX LOT COVERAGE IN R6A/C2-4 OVERLAY (123-145, 123-63, 77-24)	271 x 0.60 =	163 sf
TOTAL REQ'D MAX LOT COVERAGE	1344 + 171 =	1516 sf
PROPOSED LOT COVERAGE, RESIDENTIAL CONVERSION, NON-COMPLYING CONVERSION (123-67, 54-31)	24.9 X ±101 =	2526 sf
REQD. REAR YD. (123-67, ZR-15, 54-31)	SEE NOTES ON LEFT - RESIDENTIAL CONVERSION	0' EXIST. ON 1ST FLR TO REMAIN
PROPOSED REAR SETBACK OF NEW 2ND STORY ADDITION	51'-54" (VARIES) TO REAR LOT LINE OR 40'-43" (VARIES) TO DISTRICT BOUNDARY	
REQD. SIDEYARD, ZR123-651	NONE IN SPECIAL MIXED USE DISTRICTS & FOR SINGLE-FAM	0' IN EXIST'G BLDG, 0' IN PROPOSED ADDITION WHICH IS WHOLLY IN MX-8
REQD. MAX # D.U. 23-22	2526 X 2.7 / 680 =	10
PROPOSED # D.U.		1
ACCESSORY OFF-STREET PARKING (123-72)	1 PER DWELLING UNIT REQ'D	1 EXIST'G PARKING SPACE PROVIDED
ACCESSORY OFF-STREET BICYCLE PARKING (25-80)	1 PER 2 D.U. (WAIVED FOR 10 D.U. OR LESS)	N/A - LESS THAN 10 D.U.
REQD. MAX HEIGHT/SET BACK (123-662, 77-28)	MAX BASE 60', MAX HEIGHT 70'	PROPOSED HEIGHT 28', NO SETBACK
MIN. REQ'D LOT AREA FOR RESIDENTIAL (23-32, 123.61)	1700 MIN. LOT AREA, 18' MIN. LOT WIDTH REQ'D.	2526 sf LOT AREA, 24.9' LOT WIDTH PROVIDED
REQD. USE, 77-11, 123-20	ALL USES PERMITTED IN DESIGNATED RESIDENTIAL DISTRICT R6A PERMITTED	
PROPOSED USE	1 UNIT OF 'GENERAL' RESIDENCE, USE GROUP 2	
REQD. ENVIRONMENTAL CONDITIONS 123-32	ALL NEW WINDOWS SHALL PROVIDE 35db(A) OF ATTENUATION, ALTERNATE MEANS OF VENTILATION THROUGH CENTRAL A.C.	
STREET TREES 28-03, 123-61, NY TREE PLANTING STANDARDS	50% PROPOSED INCREASE IN FLOOR AREA > 20% REQ'D: 1 TREE PER 25' FRONTAGE REQ'D. BECAUSE OF EXIST'G LIGHT POST & CURB CUT, OFFSITE TREE PROPOSED (SEE SITEPLAN, A-001)	
REQ'D MINIMUM D.U. 28-21	400 SF	
PROPOSED MINIMUM D.U.	3783 sf > 400 SF, COMPLIES	
WINDOWS 28-22	ALL WINDOWS SHALL BE DOUBLE-GLAZED AS REQUIRED	
REFUSE STORAGE 28-23	N/A - LESS THAN 9 D.U.	
RECREATION SPACE 28-31	N/A - LESS THAN 9 D.U.	

FIRE-RATING SUMMARY (TABLE 3-4)	
CONSTRUCTION CLASS I-C (2-hr PROTECTED), OCCUPANCY GROUP J-3	
EXTERIOR BEARING WALLS @ LOT LINE	2 HR
EXTERIOR NON-LOAD BEARING WALLS @ FACADE AND REAR OVER 30' SEPARATION	N.L.
INTERIOR BEARING WALLS & PARTITIONS	2 HR
COLUMNS SUPPORTING MORE THAN ONE FLOOR	2 HR
FLOOR CONSTRUCTION	1½ HR
ROOF CONSTRUCTION	1 HR

ABBREVIATIONS

ADD'L additional
AFF above finished floor
AHU air handling unit
ANOD. anodized
B.O. by others
CAB. cabinet
CEIL'G. ceiling
CL. center line
CLR. clear
CMU concrete masonry unit
C.O. cleanout
COL. column
CONC. concrete
C.P. compactor
D. dryer
DBL. double
DIA. diameter
DIR. direction
DN. down
DR. door
D.W. dishwasher
DWG. drawing
ELEC. electrical
ELEV. elevation
EQ. equal
EQUIP. equipment
EXIST. existing
EXT. exterior
FF. finished floor
FIN. finished
FIXT. fixture
FLR. floor
FLUOR. fluorescent
FDN. foundation
GEN. general
GWB gypsum wall board
HVAC heat / vent / air-condition
HC handicap
INSUL. insulation
JT. joint
LOC. location / locate
L.V. low-voltage
MAX. maximum
MIN. minimum
M.W. microwave
MT'D. mounted
NTS. not to scale
O.C. on center
PT'D. painted
P.T. pressure treated
QTY. quantify
REG. register
REINF. reinforce
REQ'D. required
R.O. rough opening
RM. room
RR. roof
SIM. rafters
SOF. soffit
SPEC. similar
SS. specification
STL. stainless steel
T. steel
T.B.D. tread
T&G. to be determined
THK. tongue in groove
T.O. thick / thickness
T.R. top of
TYP. to remain
U.O.N. typical
U.S. unless noted otherwise
VCT. underside
VERT. vinyl composition tile
V.I.F. verify in field
W. washing machine
WC. water closet
WD. wood
WNDW. window
Z.C.C. zinc-coated copper

SYMBOLS:

(101) = DOOR #
10 A601 = DETAIL
2 A301 = SECTION
10'-0" = CEILING HGT. AFF
5/A201 = INTERIOR ELEVATION DWG. # / SHEET
= CUT LINE
= NEW INTERIOR PARTITION
= 2-HR RATED WALL
= EXIST. INTERIOR PARTITION TO REMAIN
= EXIST. INTERIOR PARTITION TO BE DEMOLISHED
= H.C. CLEARANCE 30" x 48"
= APPD. TYPE COMBINATION SMOKE DETECTOR (PER LL62/81) & CARBON MONOXIDE DETECTOR (PER LL 7/04)

HSU HOUSE
94 N. 1st STREET
BROOKLYN, NY

DRAWING LIST:

- | | |
|------|---|
| A000 | COVER SHEET |
| | SURVEY |
| | RESCHECK COMPLIANCE CERTIFICATE |
| A001 | SITE PLAN |
| D101 | DEMO PLAN |
| A101 | NEW WORK PLAN |
| A102 | NEW WORK ROOF PLAN/
PLUMBING RISER DIAGRAM/
GAS RISER DIAGRAM |
| A201 | SECTIONS/ELEVATIONS |
| A202 | INTERIOR ELEVATIONS |
| A401 | WALL SECTIONS |
| S101 | STRUCTURAL PLANS |
| S102 | STRUCTURAL PLANS/ SECTION |
| E001 | ENERGY COMPLIANCE REPORT |

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HSU HOUSE

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BROOKLYN, NY 11211

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TITLE PAGE

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WW, PFD, SK, PV, JP, JC

CHK BY:

JH, JP

DATE:

09/11/12

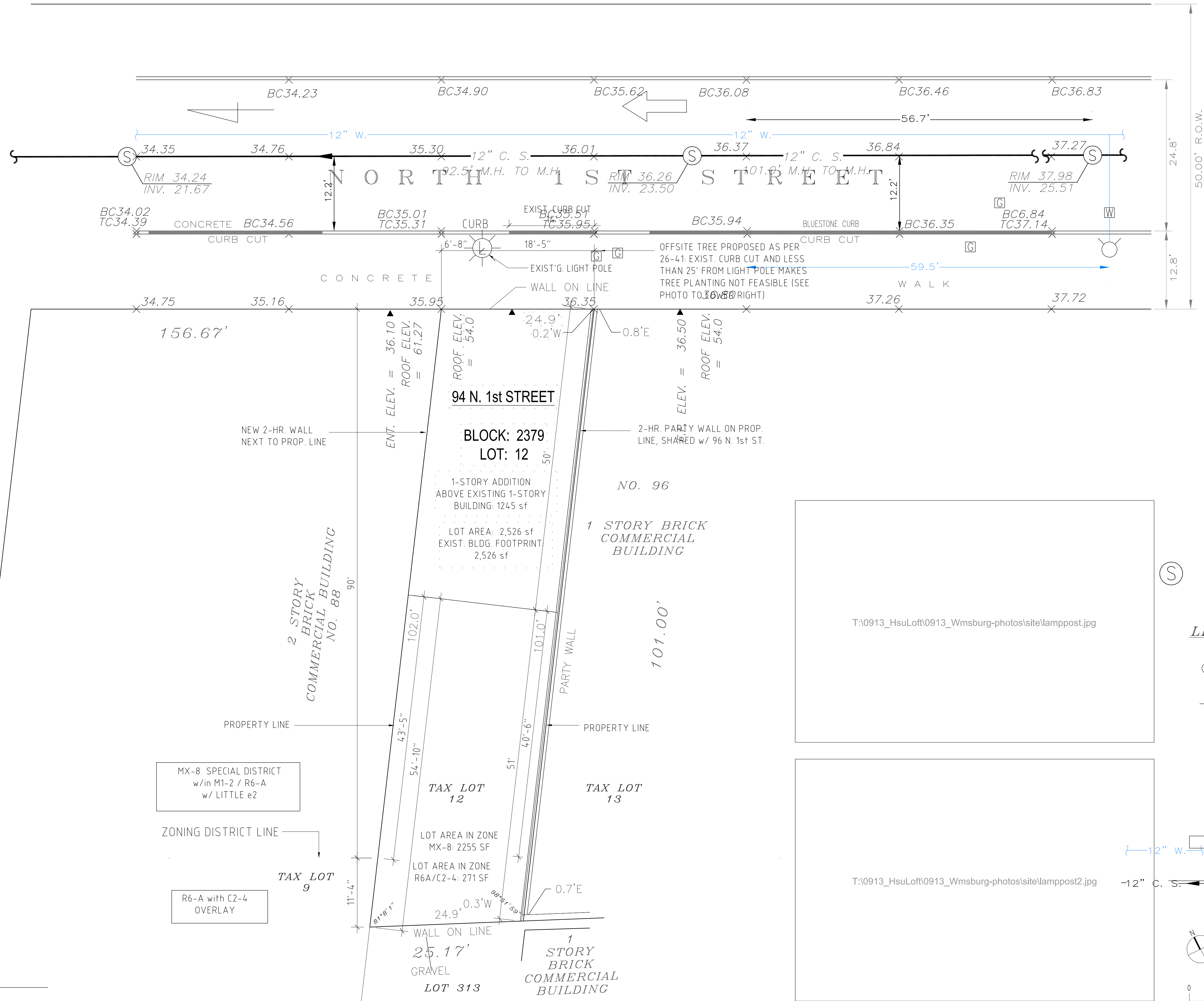
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DWG No:

1 OF 11

WYTHE AVENUE

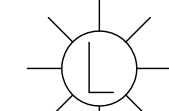


SEWER MANHOLE

LEGEND



TREE WITH SIZE



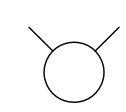
LIGHT POLE



WATER VALVE



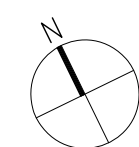
GAS VALVE



LOW-PRESSURE FIRE HYDRANT

12" W. WATER MAIN WITH SIZE OF PIPE
DIRECTION OF TRAFFIC FLOW

12" C. S. COMBINED SEWER WITH SIZE OF PIPE AND DIRECTION OF FLOW



NOTE: SEE ATTACHED SURVEY FROM LEONARD J. STRANDBERG ASSOCIATES FOR COMPLETE SURVEY INFORMATION



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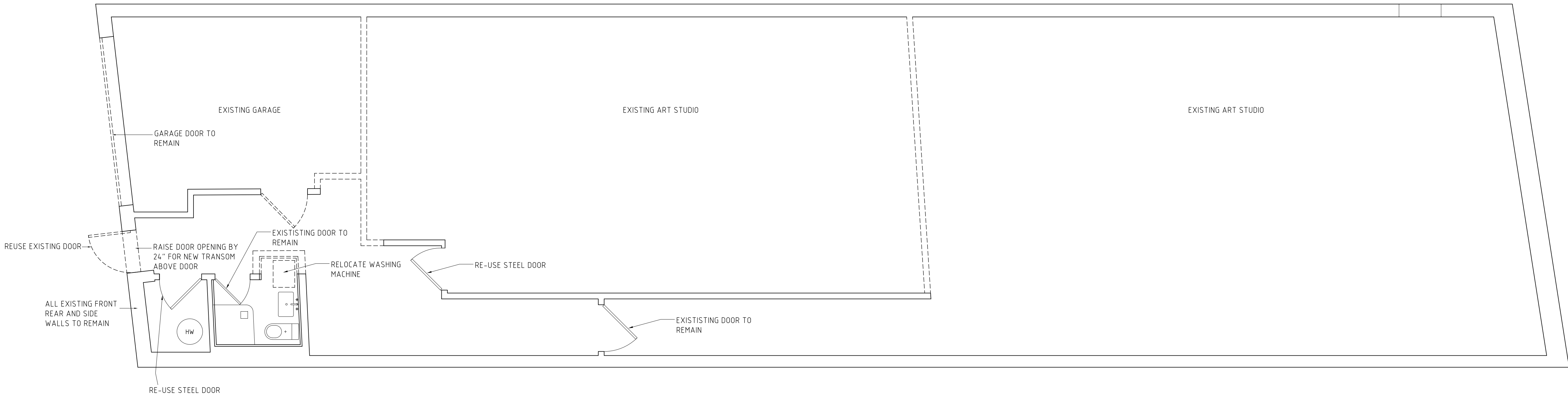
PROJECT:
HSU HOUSE

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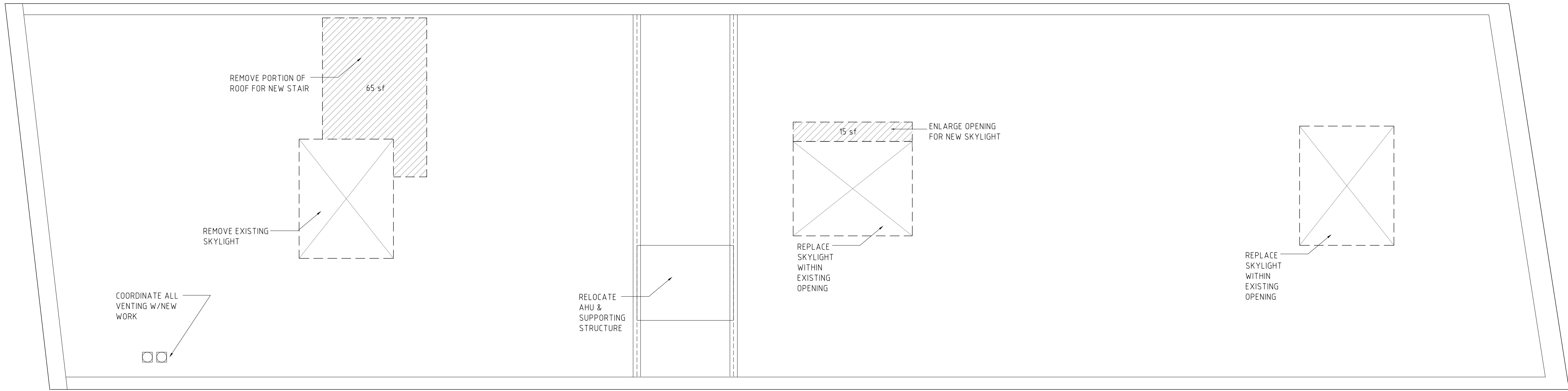
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SITE PLAN

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CHK BY: JH, JP
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DOB ID No.: **PAGE No.:**
2 OF 11



1 1ST FLOOR DEMO PLAN
1/4" = 1'



2 ROOF (2ND FLR) DEMO PLAN
1/4" = 1'

AREA CALCULATIONS OF EXTERIOR WALLS/ROOF TO BE REMOVED			
	EXISTING AREA	AREA TO BE REMOVED	% REMOVED
FRONT WALL	24.9 x 15.5 = 386sf	3.2 x 2 = 7sf	2%
REAR WALL	24.9 x 15.5 = 386sf	0sf	0%
SIDE WALL WEST	102 x 15.5 = 1581sf	0sf	0%
SIDE WALL EAST	101 x 15.5 = 1581sf	0sf	0%
ROOF	24.9 X 101 = 2526sf	80sf	3%
TOTAL	6450sf	87sf	1.3%

LEGEND
--- WALLS/OBJECTS TO BE REMOVED
SURFACES TO BE REMOVED

- DEMO NOTES
- ALL DEMO WORK TO BE COORDINATED W/ LICENSED PLUMBER & ELECTRICIAN.
 - PROTECT ALL AREAS THAT ARE NOT TO DEMO'D.
 - PATCH/REPAIR ALL AREAS EXPOSED BY DEMO WORK THAT WILL NOT BE COMPLETELY HIDDEN BY NEW WORK.
 - NO CHIPPING/CHANNELING OF UNDERLYING STRUCTURAL/ FIRE-RATED MATERIALS

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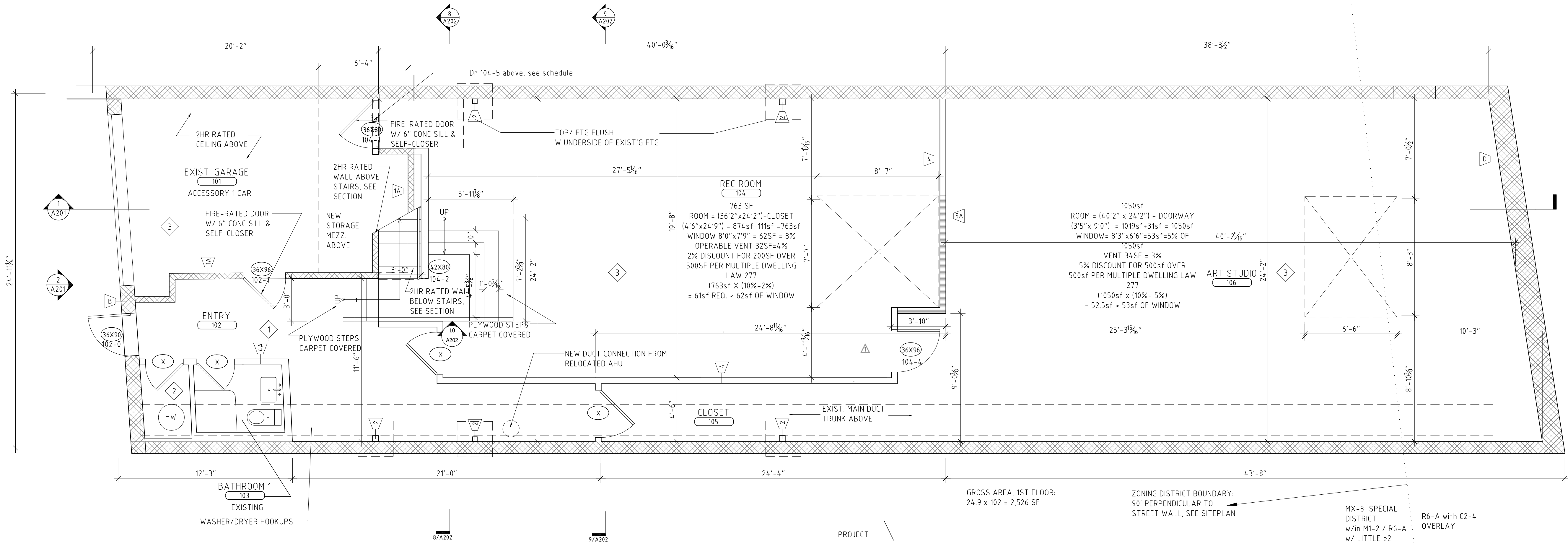
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DEMO PLAN: 1ST FLR &
ROOF

SEAL & SIGNATURE:

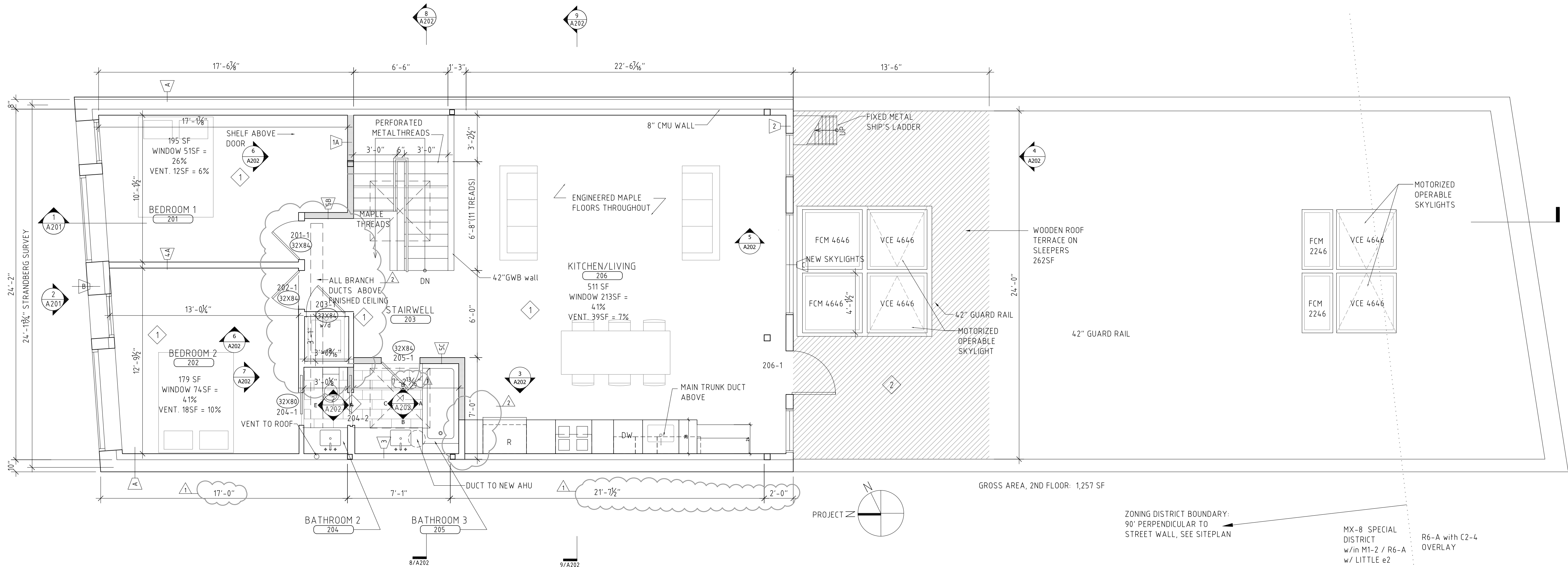
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2 OF 11

- MATERIAL LEGEND
- 1 ENGINEERED MAPLE WOOD FLOORING
 - 2 ROOF DECK ON SLEEPERS
 - 3 EXISTING CONCRETE
 - 4 8 X 16" CERAMIC TILE
- DOOR LEGEND
- (42X80) DOOR SIZE, SCHEDULE NUMBER XXX-X
 - (X) EXISTING DOOR



1 FIRST FLOOR PLAN - EXISTING STRUCTURE (SINGLE FAMILY RESIDENCE)
1/4" = 1"



2 SECOND FLOOR PLAN - NEW ADDITION (PART OF 1ST FLR SINGLE FAMILY RESIDENCE)
1/4" = 1"

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NEW WORK PLANS, 1ST
FLR, 2ND FLR

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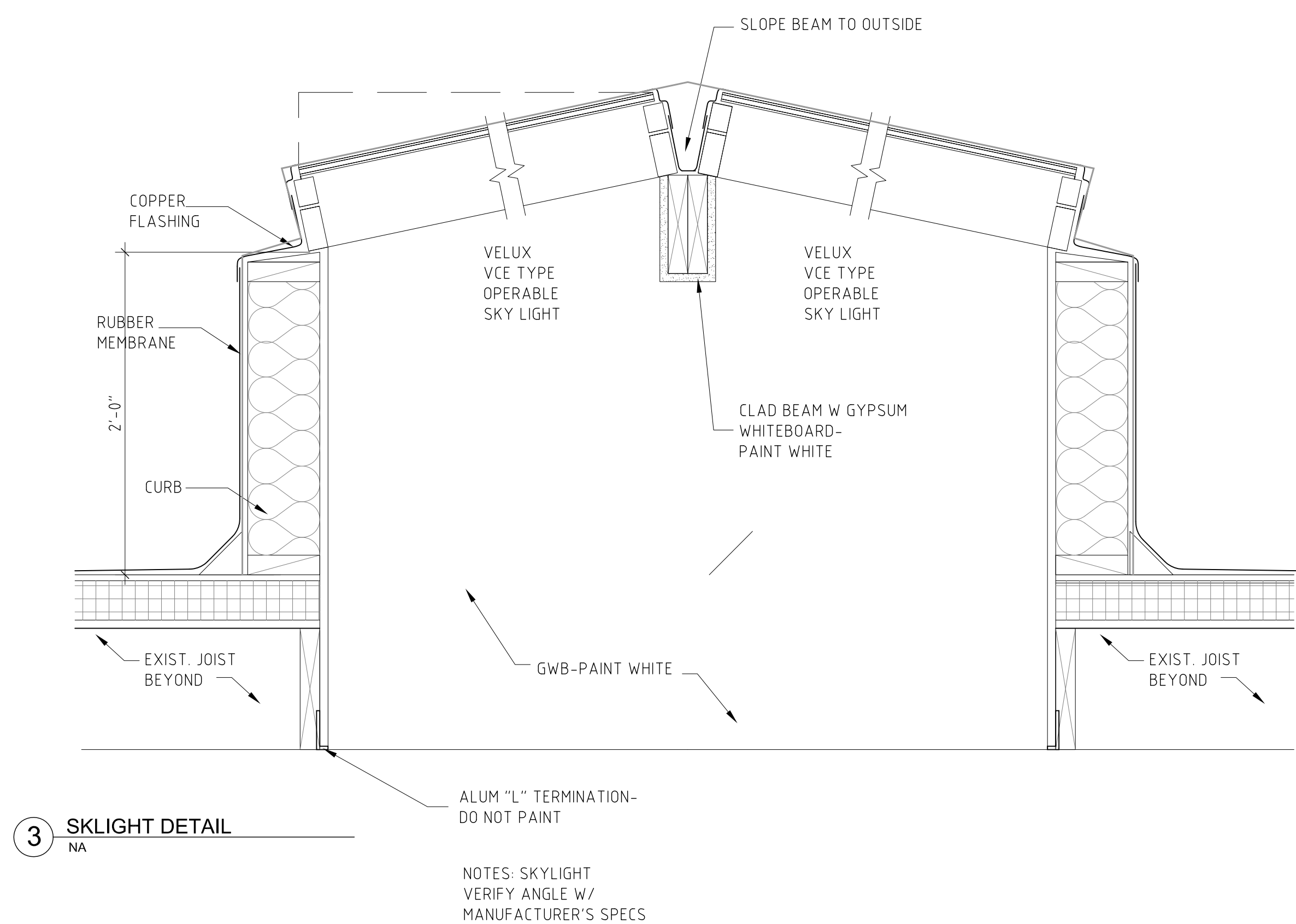
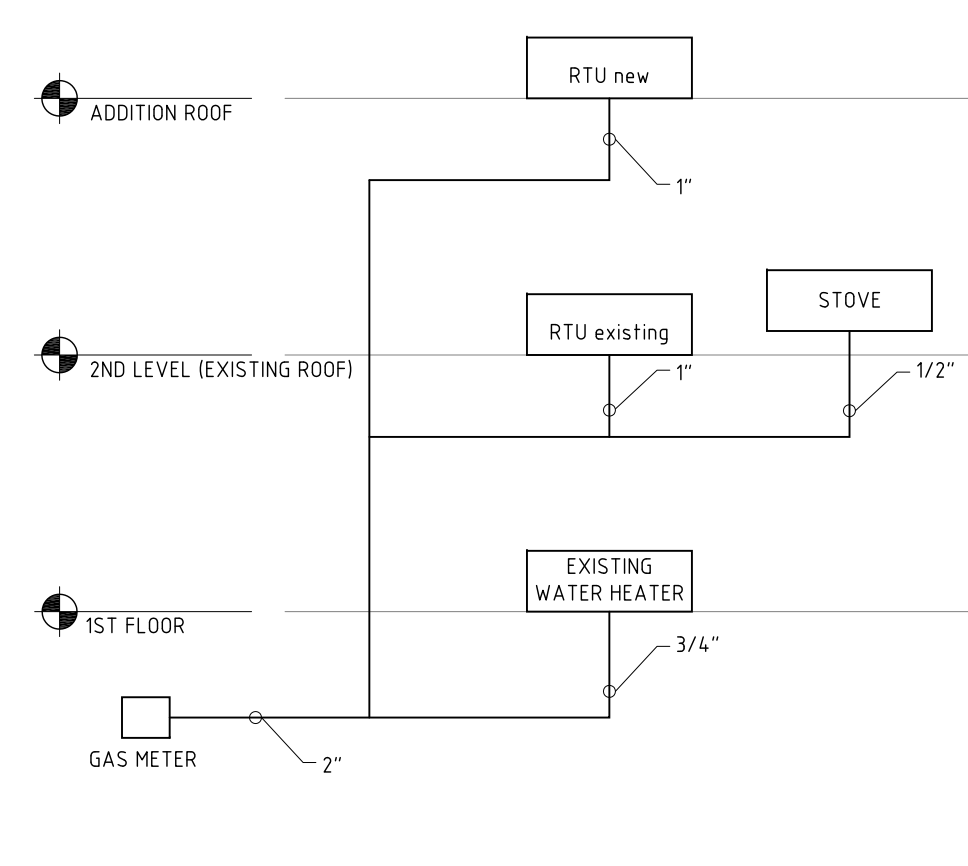
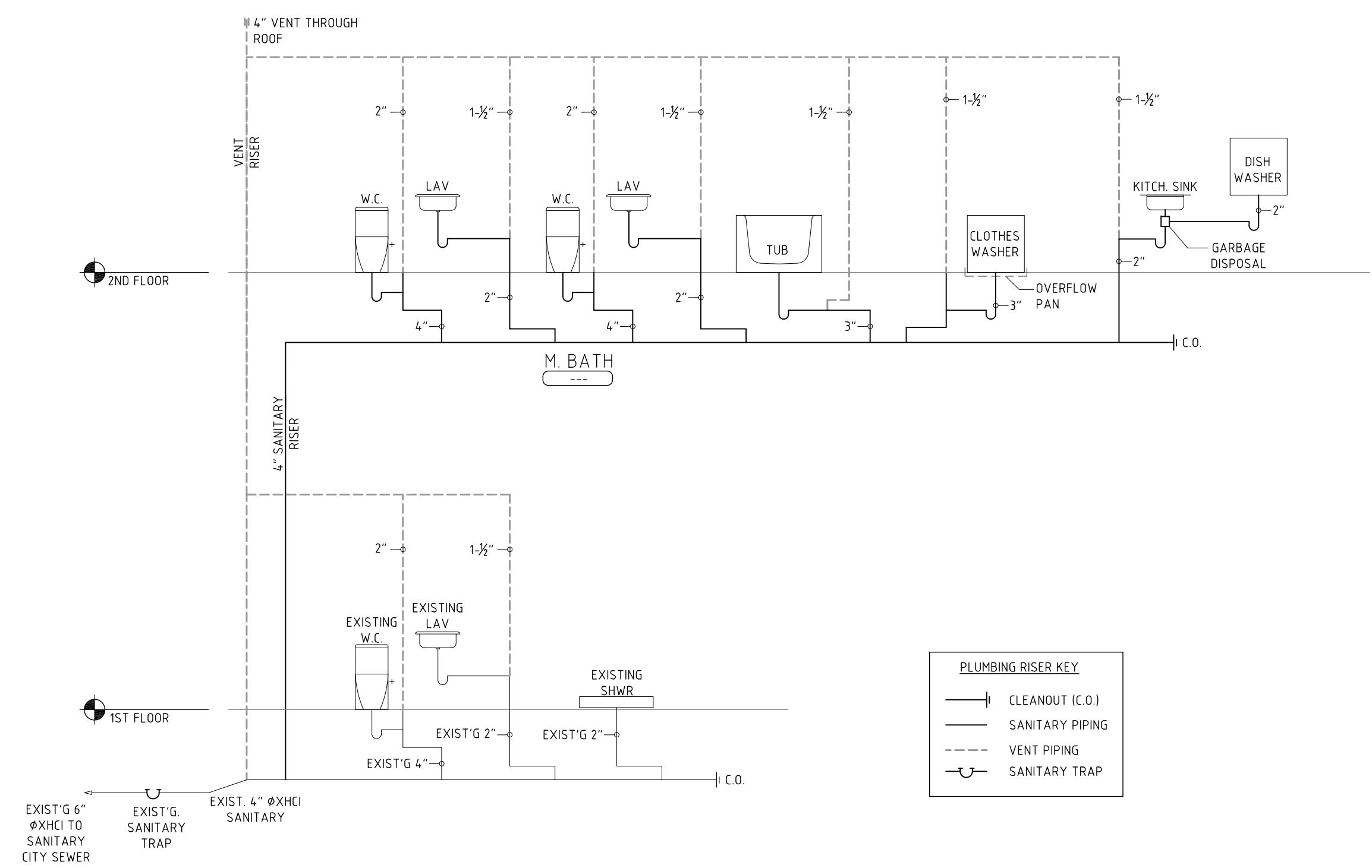
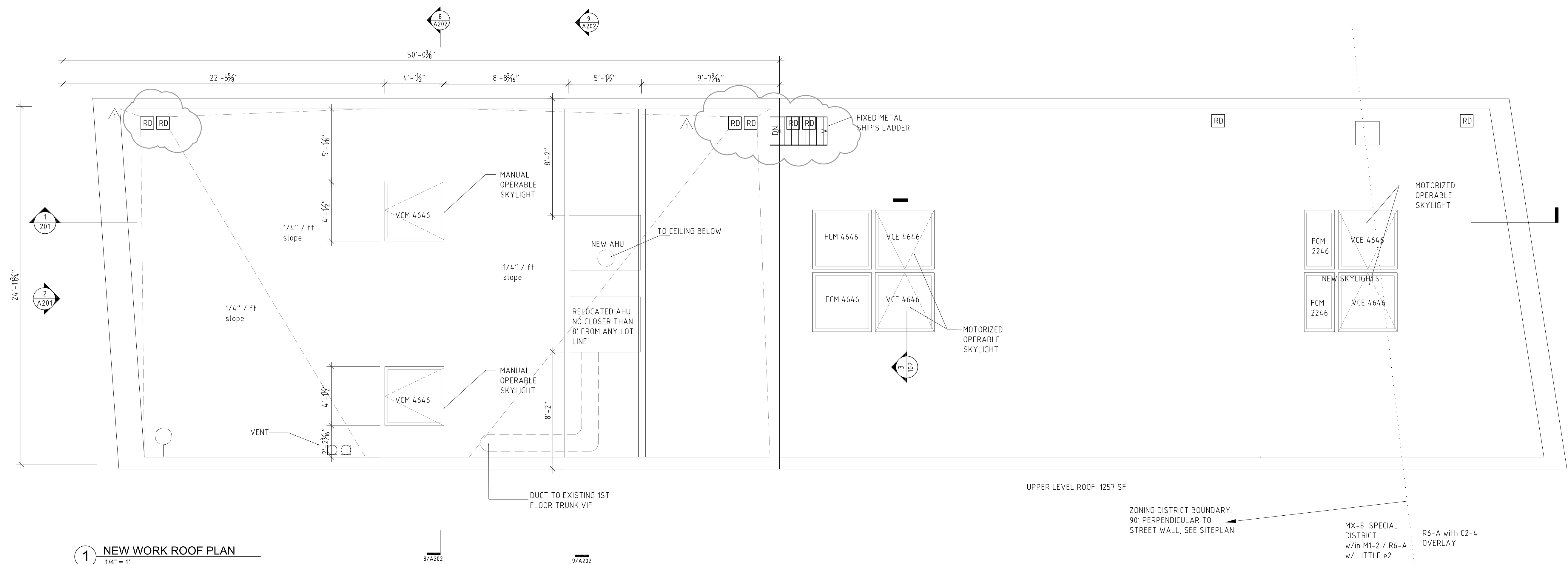
DWG BY: W.W., P.P.D., S.K., P.V., J.H., J.C.

CHK BY: J.H., J.P.

DRG No.: 0915

DOB ID No.: PAGE No.: 4 OF 14

A-101.02



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ISSUED:
10 Dec. 2012:
Issued for Post-Approval Amendment

31 Oct 2012

PROJECT:
HSU HOUSE

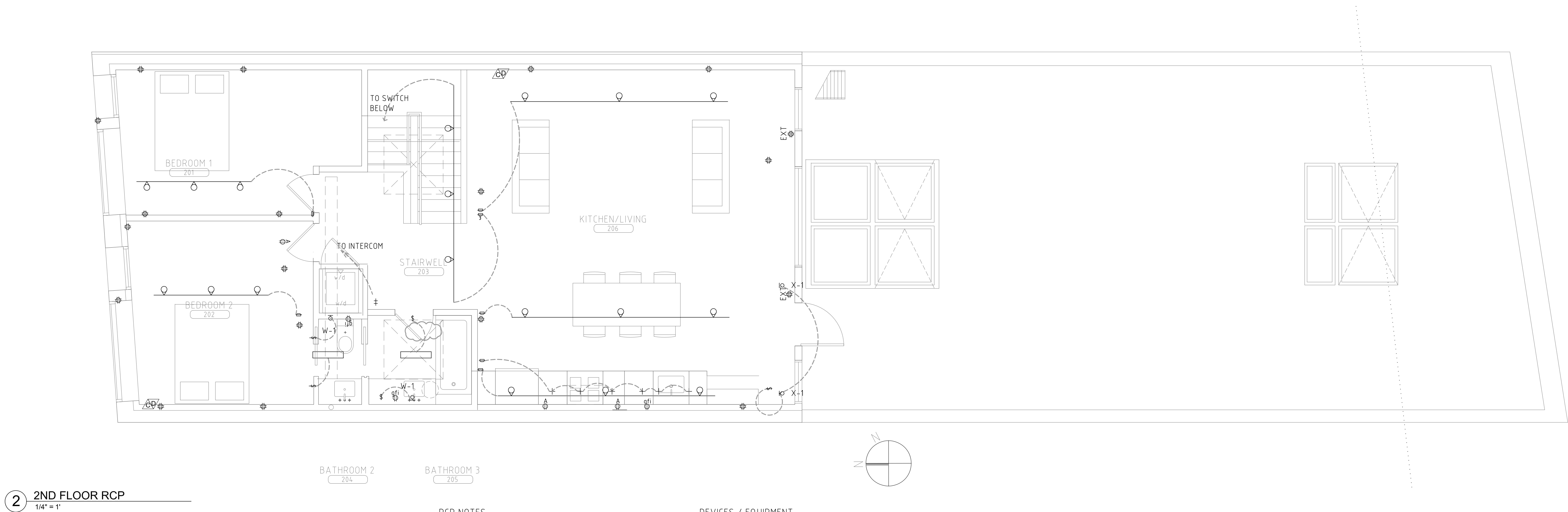
PROJECT ADDRESS:
94 NORTH FIRST STREET
BROOKLYN, NY 11211

WORK TITLE:

SEAL & SIGNATURE:

REFLECTED CEILING
PLANS, 1ST FLR, 2ND FLR

DATE:	10 Dec. 2012
PROJECT No:	0913
TWG BY:	WW, FP, SK, PV, JH, JC
CHK BY:	JH, JP
TWG No:	A-110.00
JOB ID No:	PAGE No:






RCP NOTES

1. ALL NEW OUTLETS & SWITCHES TO BE SPACED PER CODE.
2. ALL EXIST. FIRE SAFETY DEVICES TO REMAIN
3. MATCH ALL SWITCHES WITH TRANSFORMER OR FIXTURE TYPE.
4. NO CHOPPING OR CHANNELLING OF STRUCTURAL/FIRE-RATED MATERIALS.
5. A LICENSED ELECTRICIAN SHALL PERFORM ALL ELECTRICAL WORK AND SECURE ALL APPROPRIATE PERMITS AND APPROVALS.







DEVICES / EQUIPMENT

- ✕ EXIST. DUPLEX OUTLET
- ⊞ QUAD. OUTLET
- ⊞ DUPLEX OUTLET - GFI
- ✕ APPLIANCE OUTLET - COORD. W/ EQUIPMENT
- \$ LUTRON 'DIVA' SWITCH - SEE PLAN FOR TYPE
- ⊞ LUTRON 'DIVA' DIMMER
- △ DATA/VOICE JACK
- ▽ CABLE TV JACK
- I ENTRY DOOR INTERCOM
- ⊞ INTERIOR PANEL

-  MECH EXHAUST VENT
 SMOKE DETECT
 CARBON DIOXIDE DETECTOR

APPD. TYPE COMBINATION SMOKE DETECTOR (PER LL62/81) & CARBON MONOXIDE DETECTOR (PER LL 7/04)

LIGHT FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	MANUF / FIXTURE	FINISH	BULB	NOTES
	LINE VOLTAGE TRACK HEAD	PROGRESS LIGHTING	WHITE FINISH	PR20	
	TRACK	PROGRESS LIGHTING	WHITE FINISH		
	CELL'G HANGING	PROGRESS LIGHTING	BRUSHED NICKEL	1-17W T8FI	
	WALL LIGHT - VANITY	PROGRESS LIGHTING	CLEAR PRISMATIC	1-9W CF	
	WALL LIGHT - EXTERIOR	PROGRESS LIGHTING	CLEAR PRISMATIC	1-9W CF	
	CABINET LIGHT - INTEGRATED	IKEA		LED	

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HSU HOUSE

PROJECT ADDRESS:

94 NORTH FIRST STREET
BROOKLYN, NY 11211

DWG TITLE:

SECTION, ELEVATIONS

SEAL & SIGNATURE:

DATE:

10 Dec. 2012

PROJECT No.: 0915

DWG BY: WW, FPD, SK, PV, JH, JC

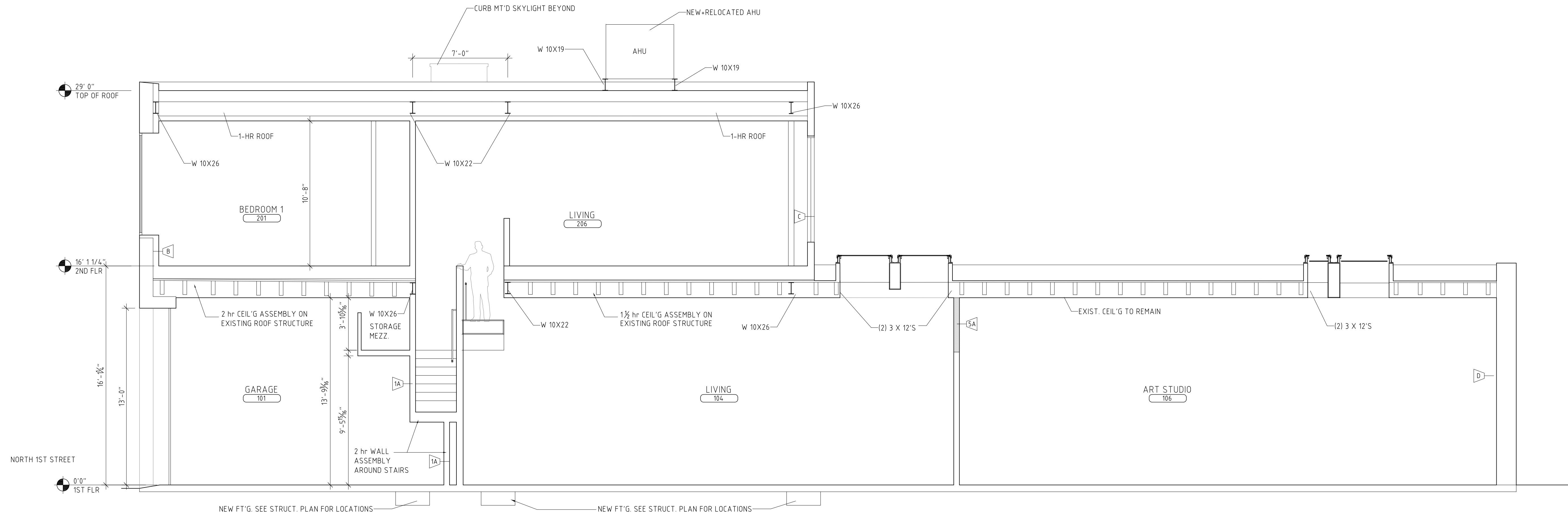
CHK BY: JH, JP

DWG No.: A-201.00

DOB ID No.:

PAGE No.:

7 OF 11

**1 NORTH-SOUTH LONGITUDINAL SECTION**
1/4" = 1'

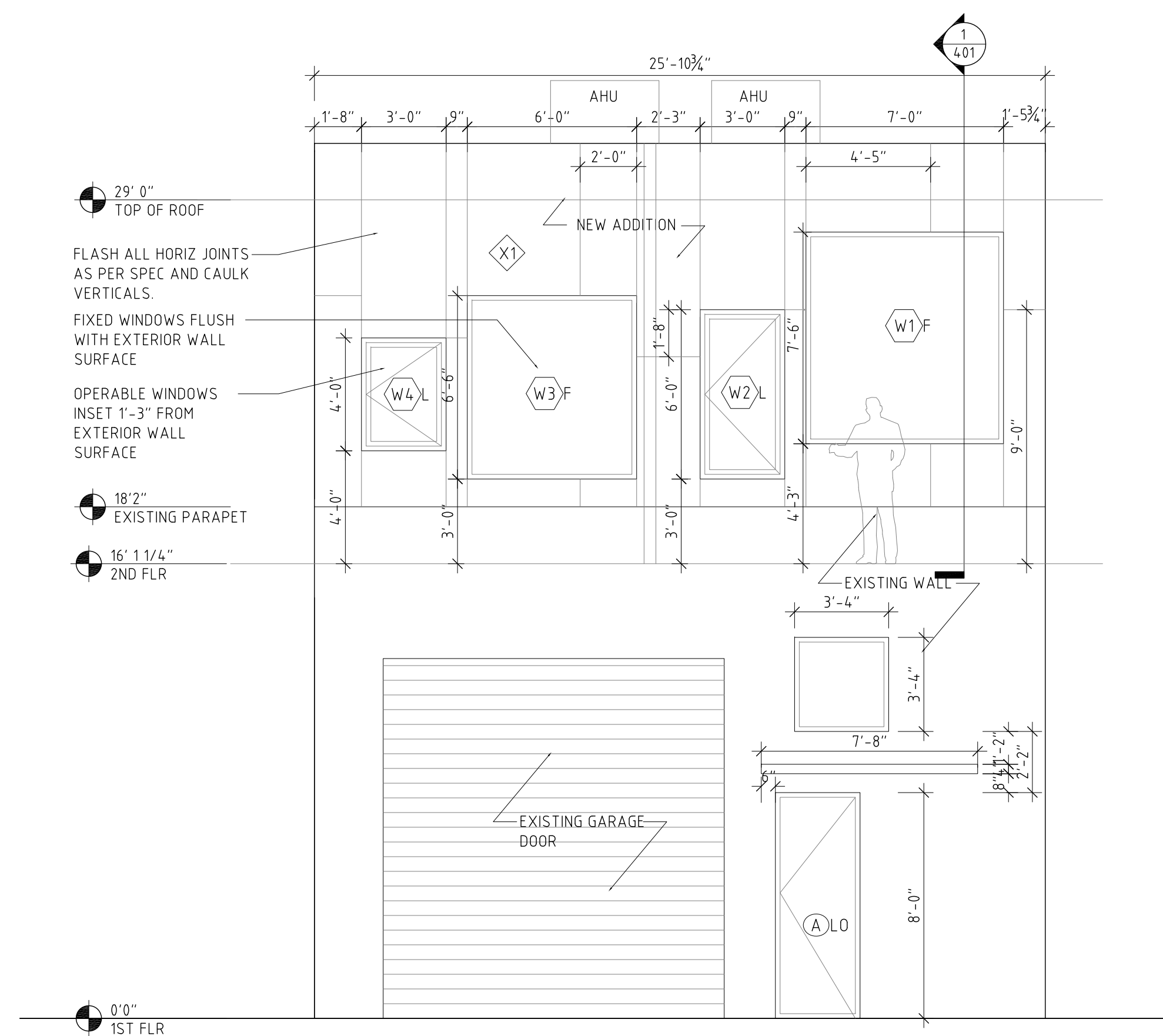
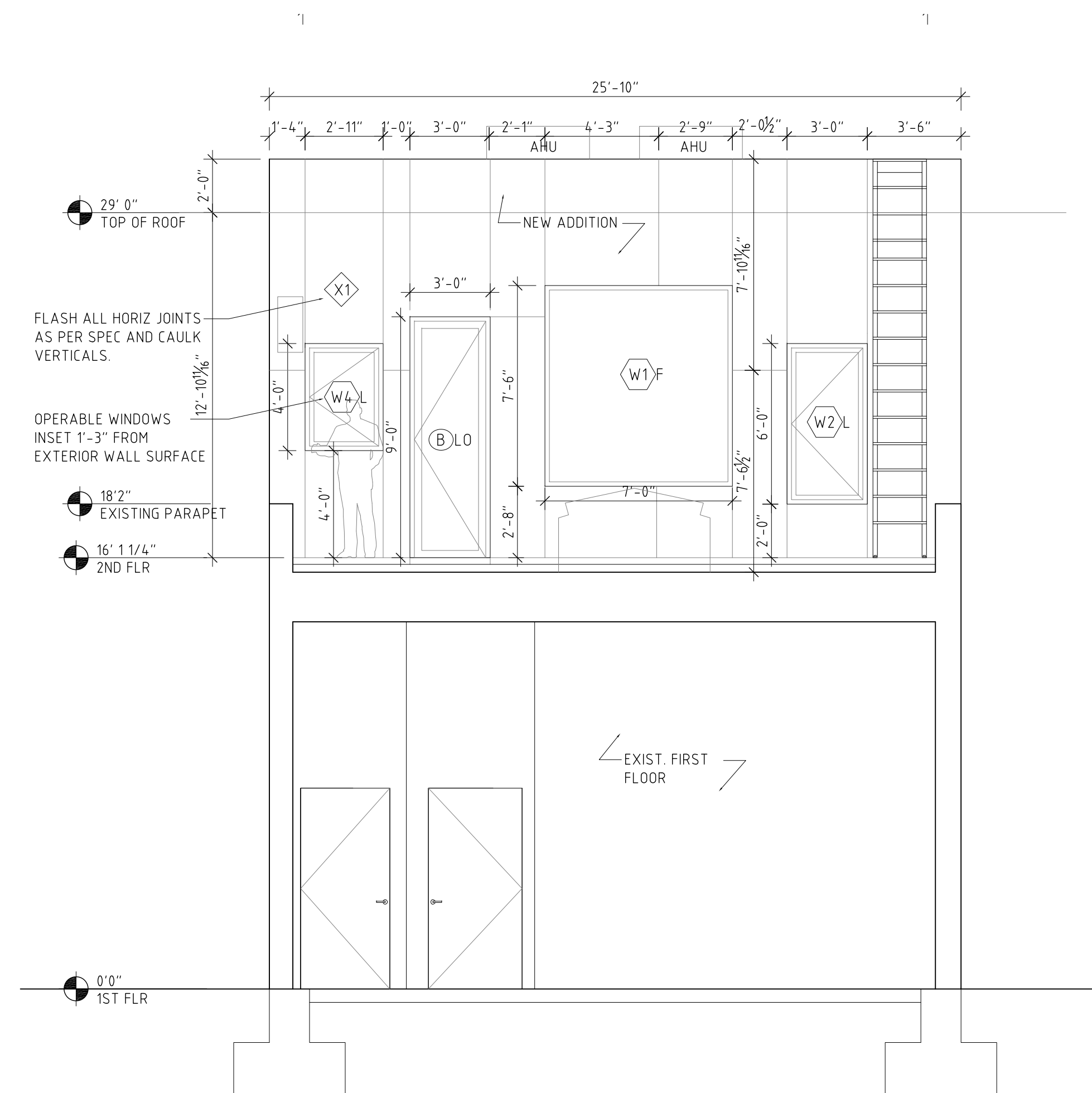
MATERIAL LEGEND

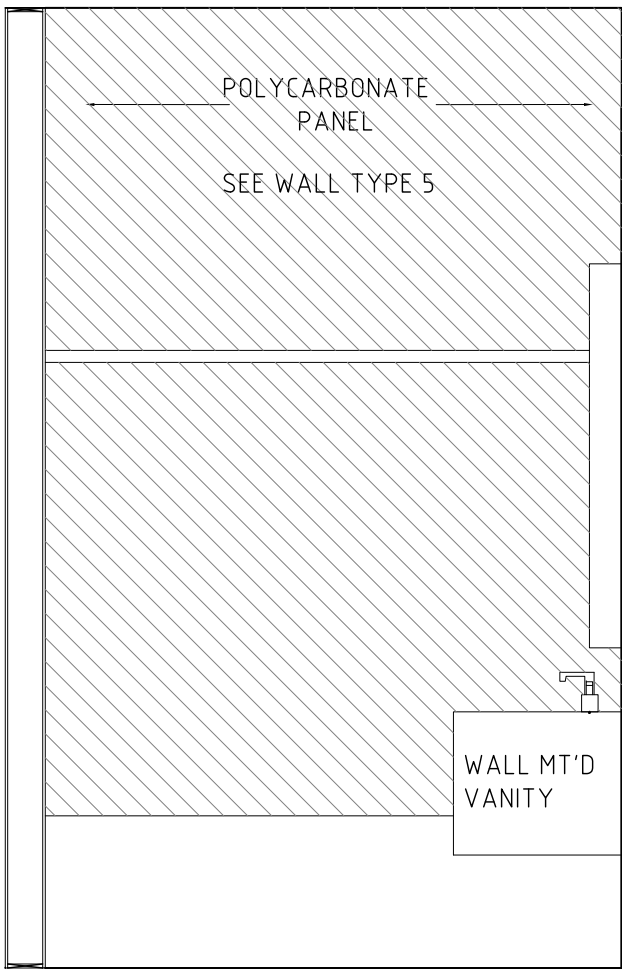
X1 JAMES HARDIE FIBER
CEMENT CLADDING,
PAINT WHITE

1. NATURAL ANODIZED ALUM. STOREFRONT
2. DOUBLE GLAZED, LOW -E GLASS
3. INSECT SCREENS ON ALL OPERABLE WINDOWS

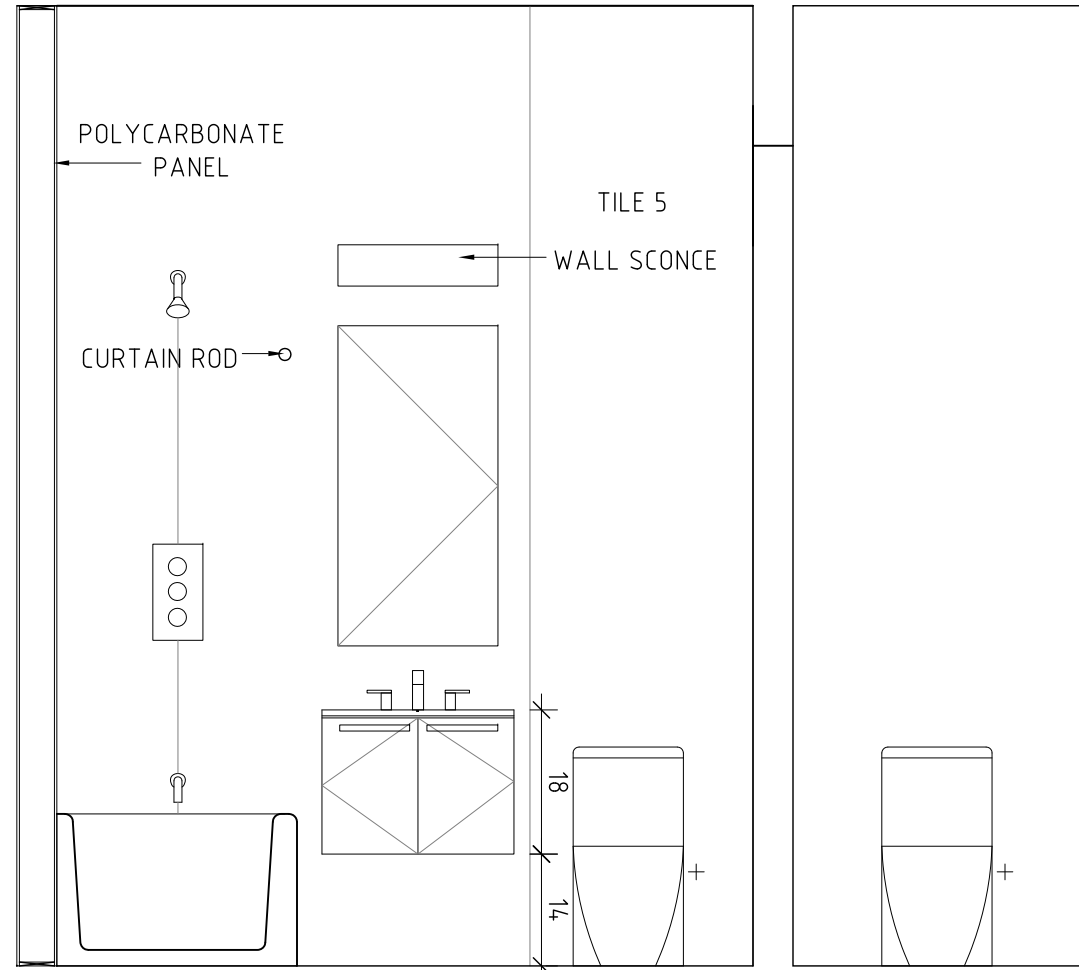
SKYLIGHT NOTES

1. VELUX TYPE OR EQUAL
2. DOUBLE GLAZED, LOW-E GLASS

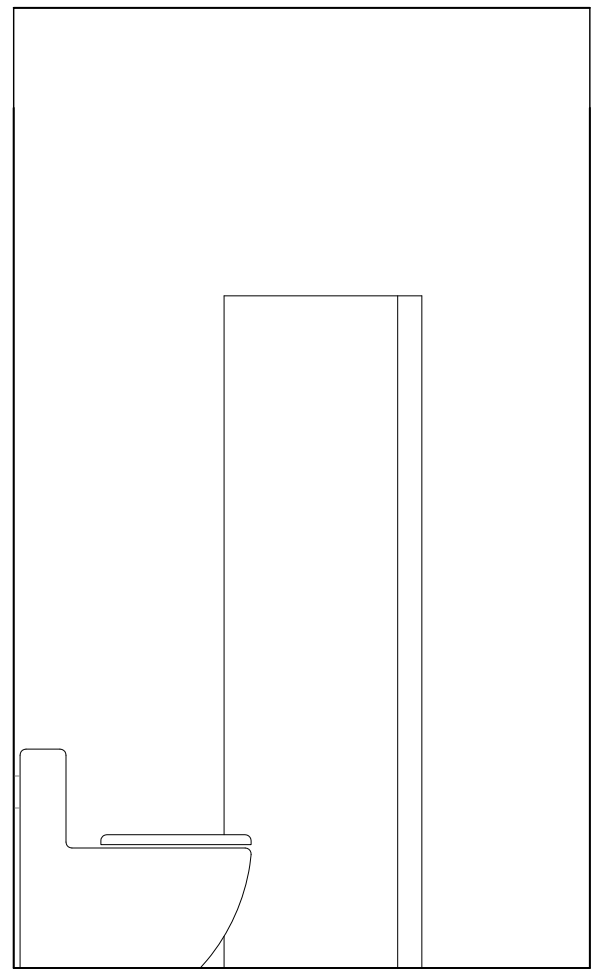
**2 NORTH - FRONT ELEVATION**
1/4" = 1'**3 SOUTH - REAR ELEVATION**
1/4" = 1'



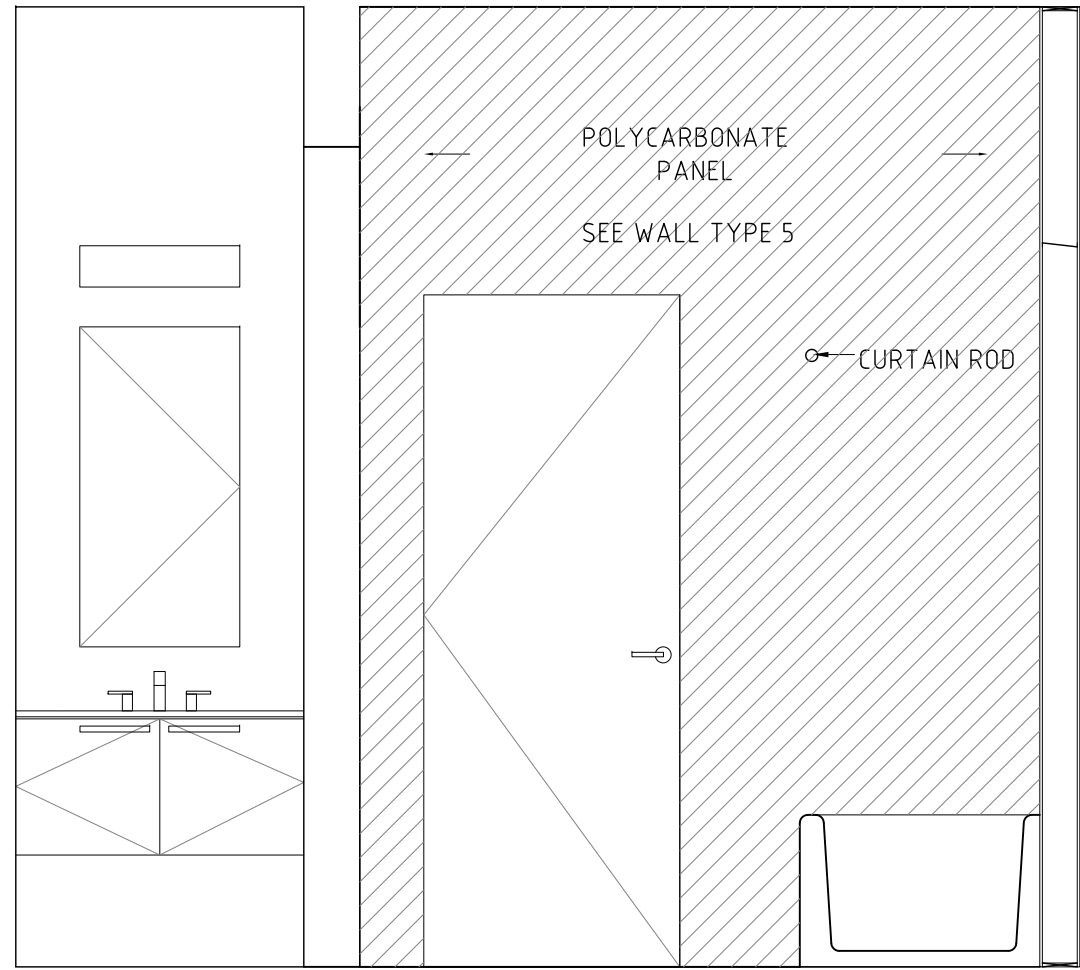
1A BATHROOM ELEVATION
1/2" = 1'



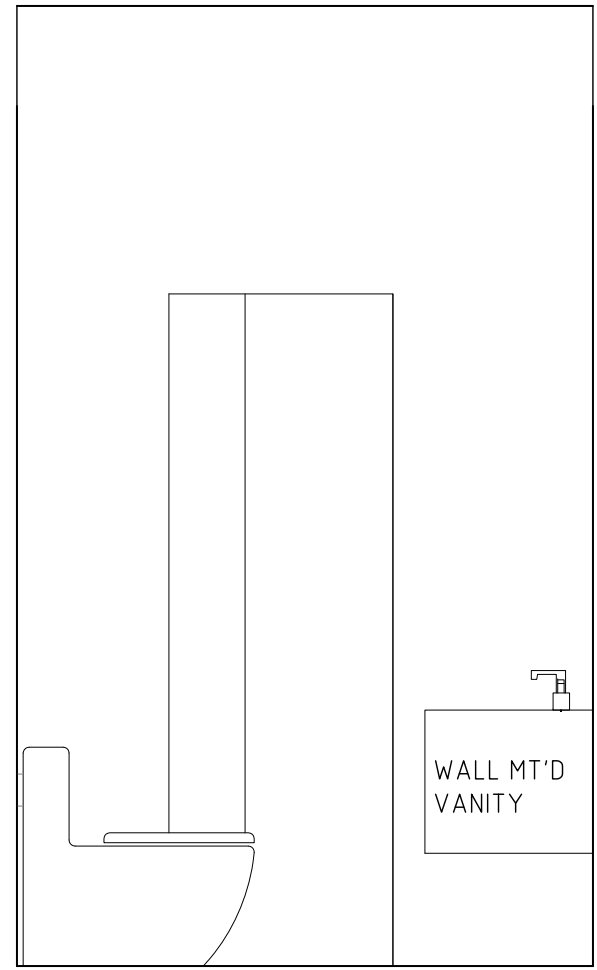
1B BATHROOM ELEVATION
1/2" = 1'



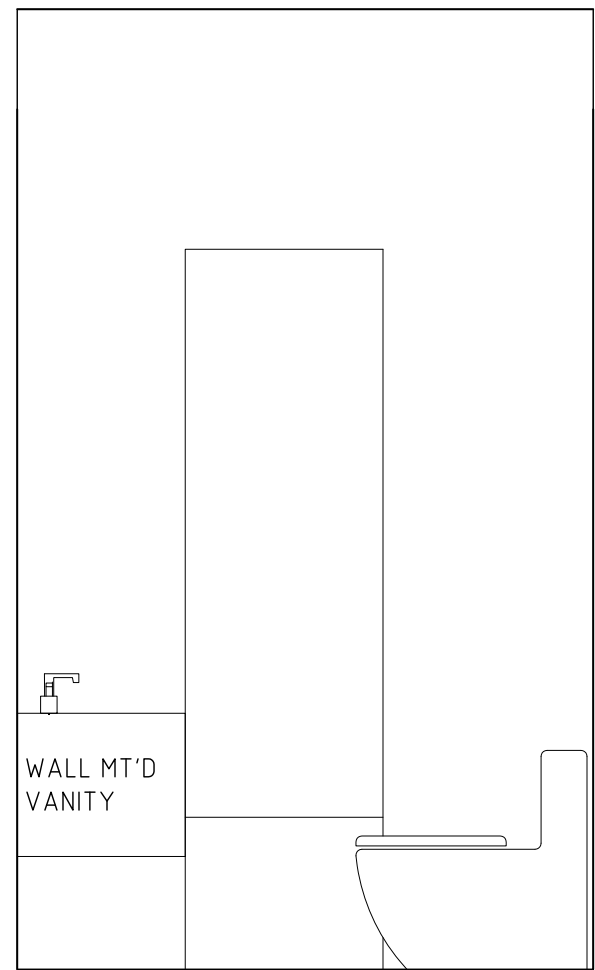
1C BATHROOM ELEVATION
1/2" = 1'



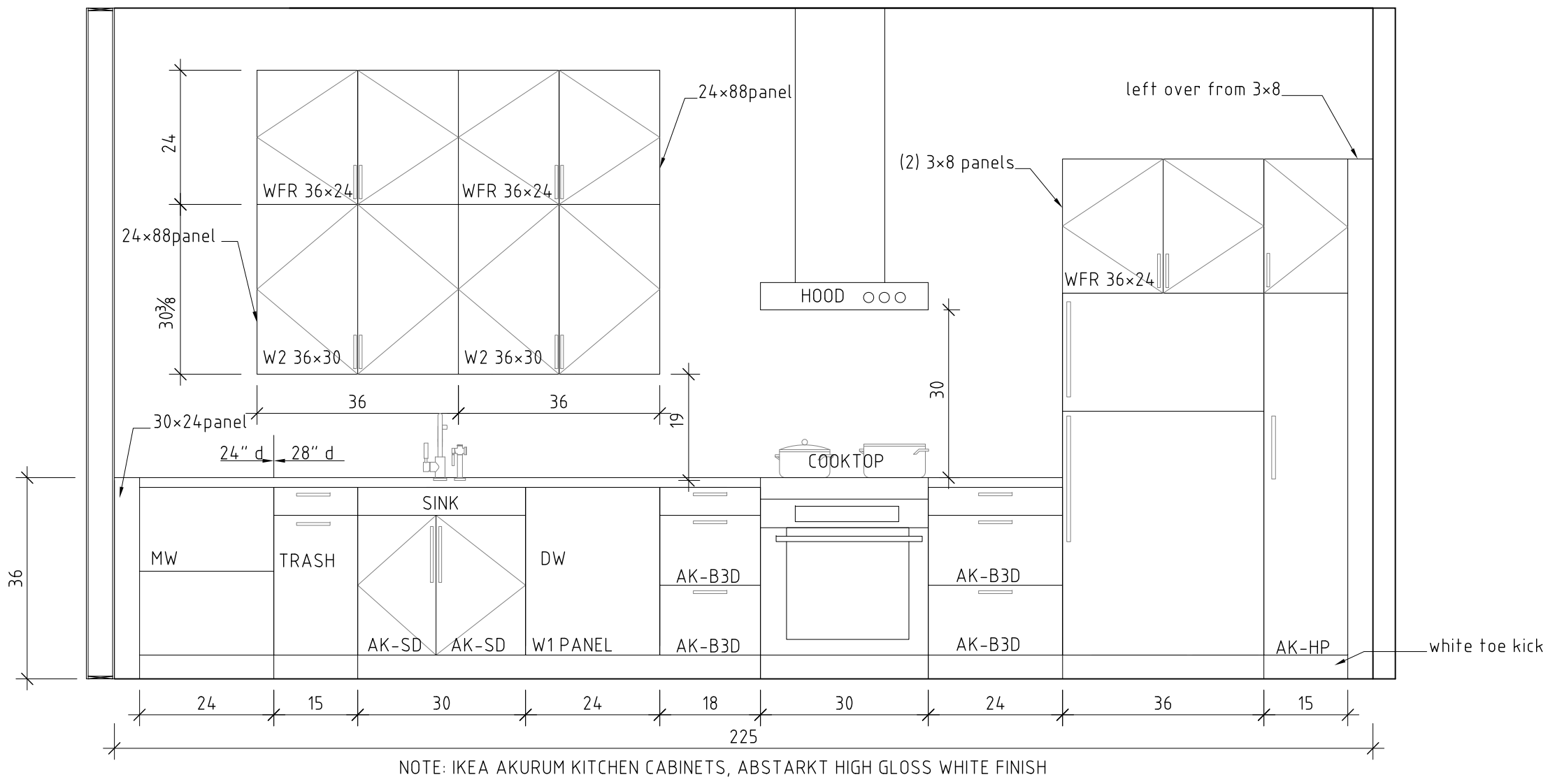
1D BATHROOM ELEVATION
1/2" = 1'



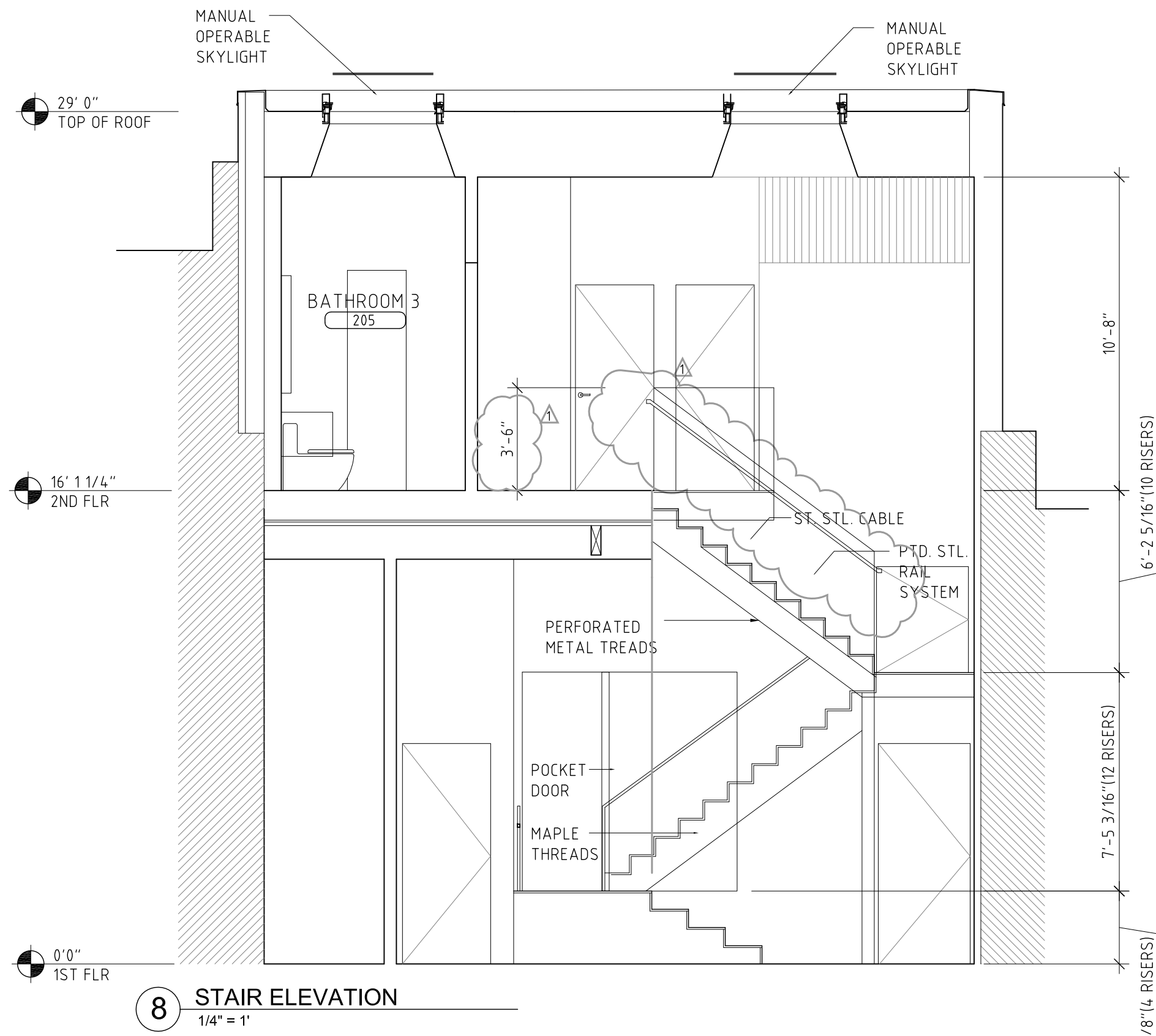
2E BATHROOM ELEVATION
1/2" = 1'



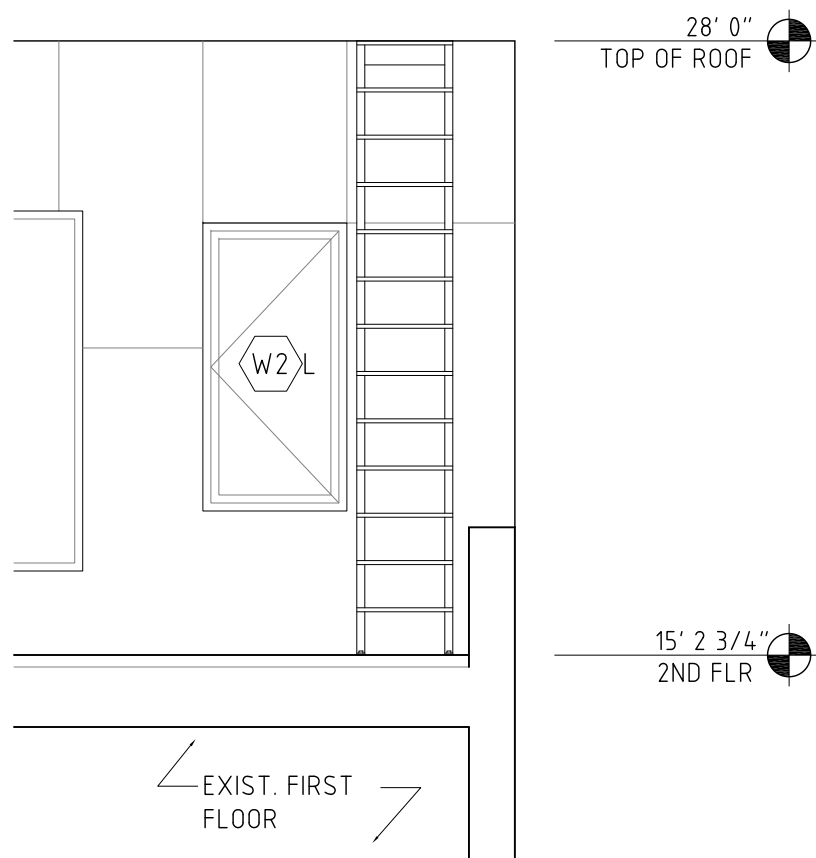
2F BATHROOM ELEVATION
1/2" = 1'



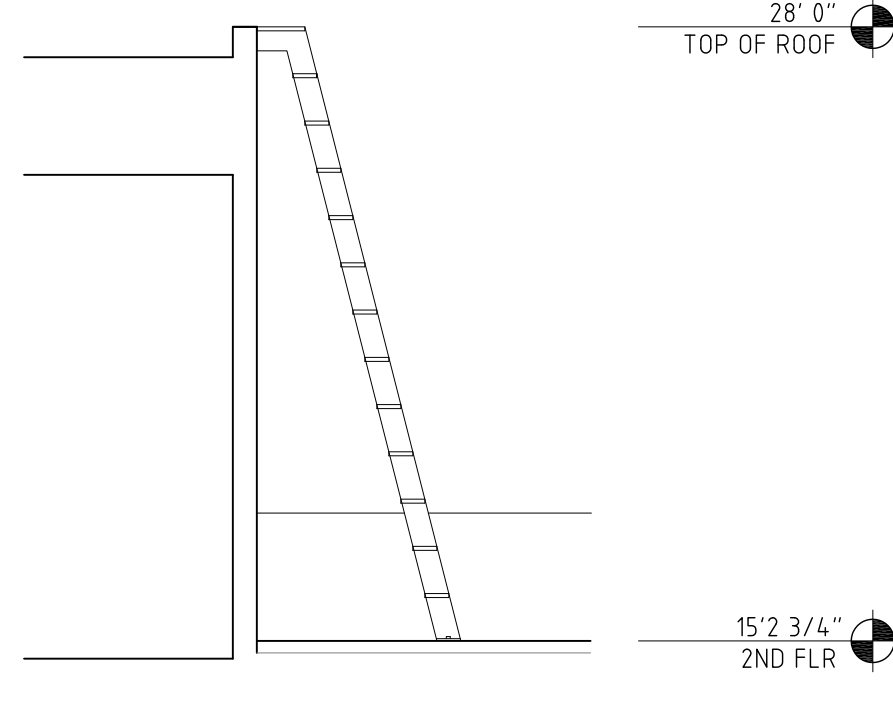
3 KITCHEN ELEVATION (SEE OWNER'S SKETCH)
1/2" = 1'



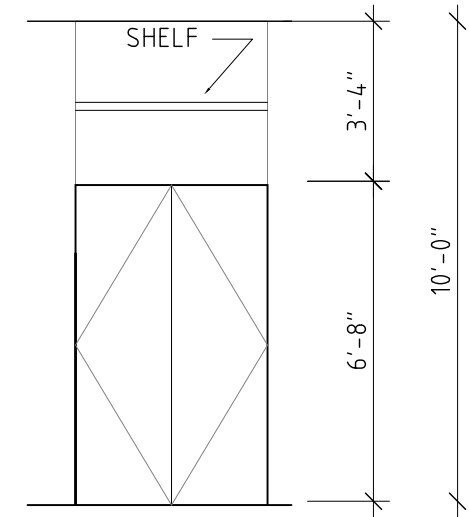
8 STAIR ELEVATION
1/4" = 1'



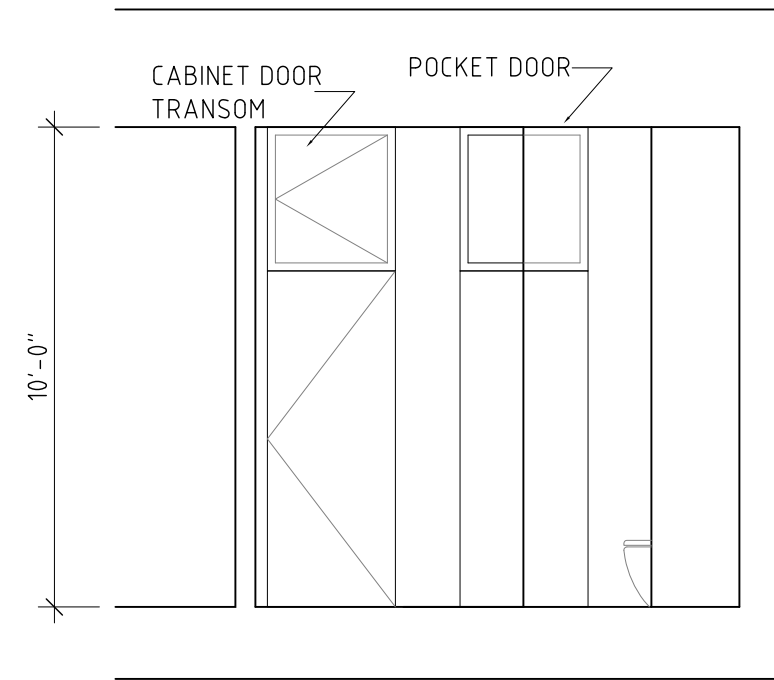
4 SHIP'S LADDER FRONT ELEVATION
1/4" = 1'



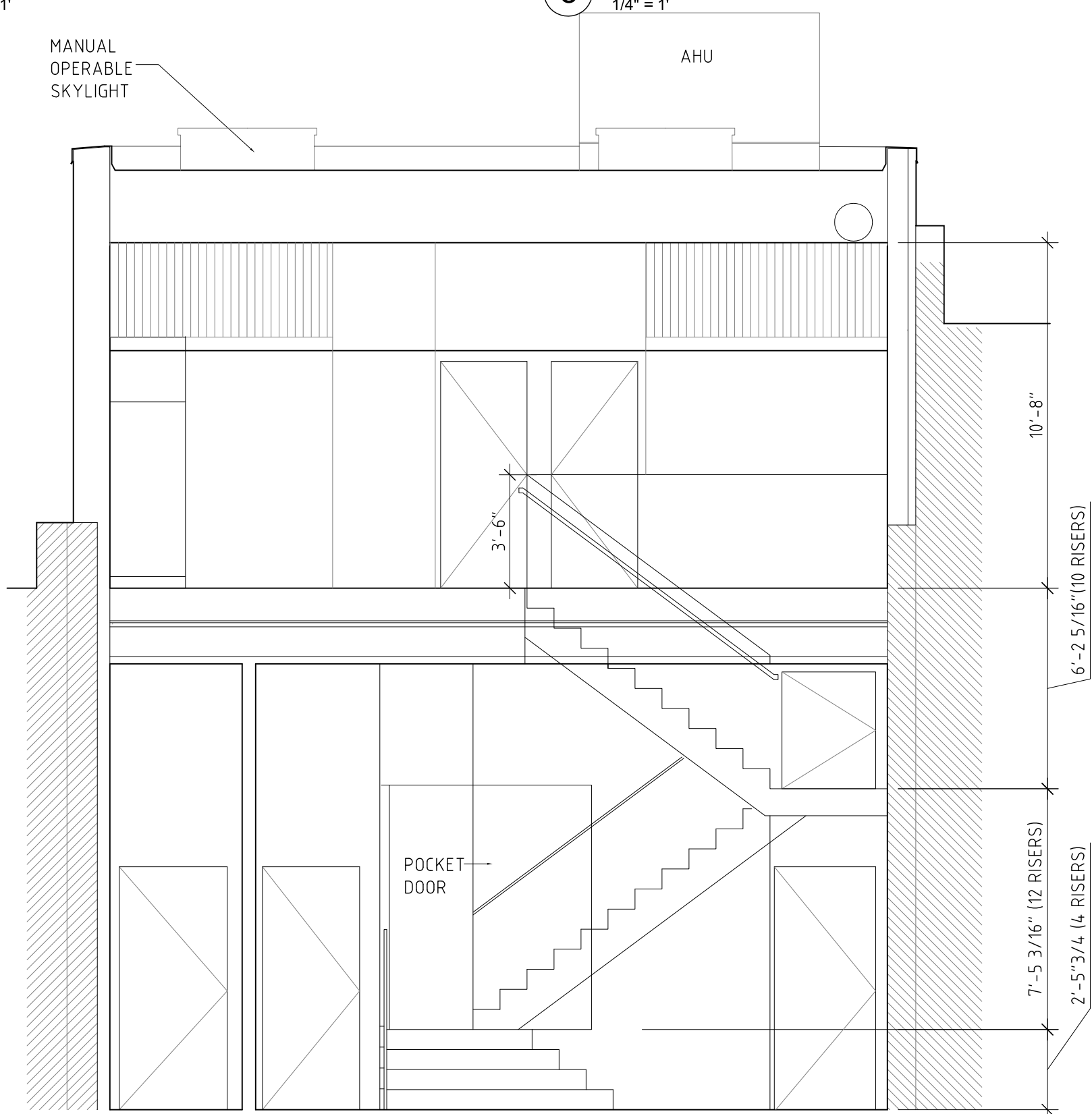
5 SHIP'S LADDER SIDE ELEVATION
1/4" = 1'



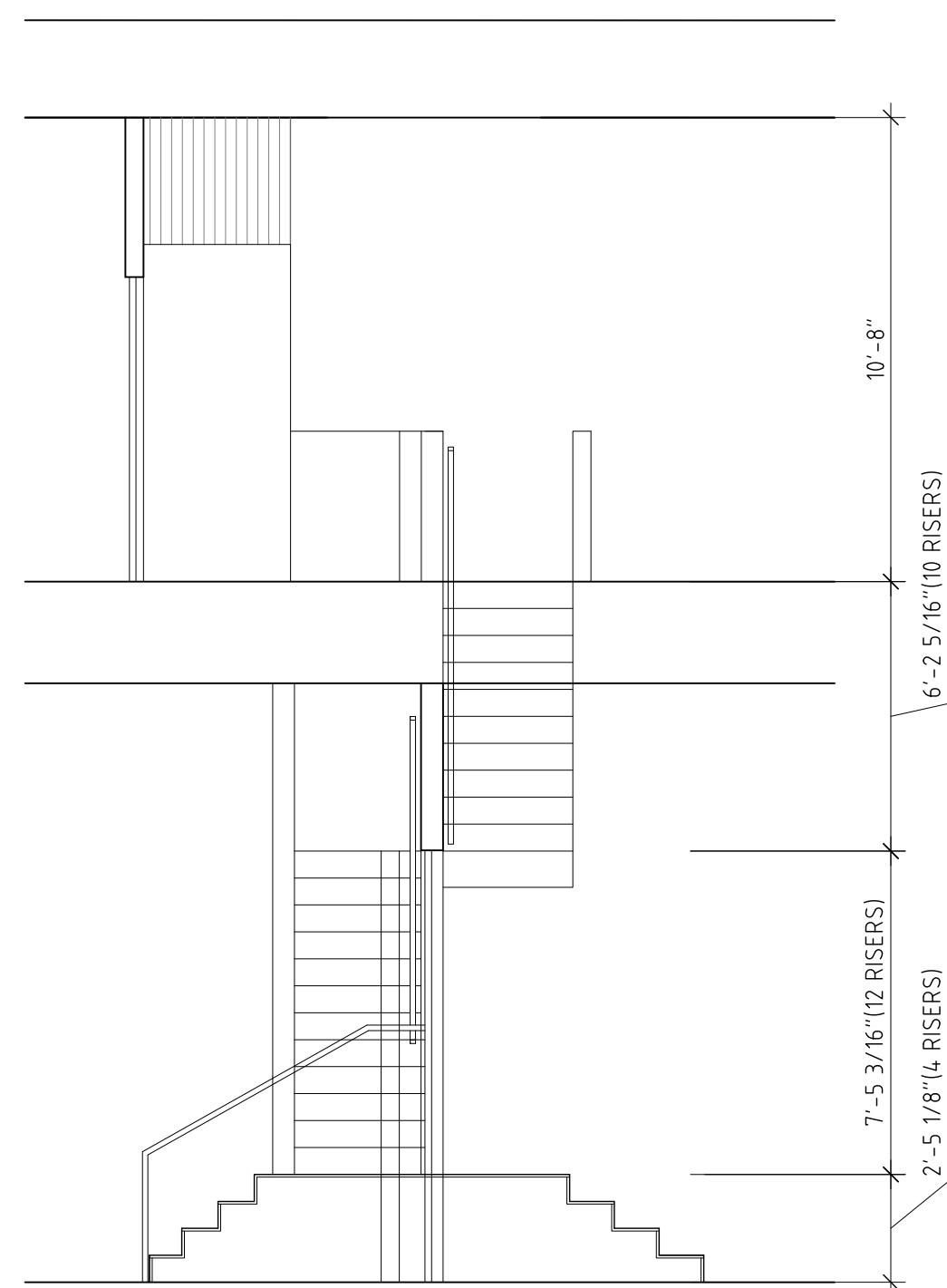
6 BEDROOM CLOSET ELEVATION
1/4" = 1'



7 BEDROOM DOOR ELEVATION
1/4" = 1'



9 STAIR ELEVATION
1/4" = 1'



10 STAIR ELEVATION
1/4" = 1'

S s D

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31 Oct 2012

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HSU HOUSE

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94 NORTH FIRST STREET
BROOKLYN, NY 11211

DWG TITLE:

INTERIOR ELEVATIONS

SEAL & SIGNATURE:

DATE:

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PROJECT NO:

0913

DWG BY:

W.W., F.P.O., S.K., P.V., J.H., J.C.

CHK BY:

J.H., J.P.

DWG NO:

A-202.00

DOB NO:

8 OF 11

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PROJECT ADDRESS:

94 NORTH FIRST STREET
BROOKLYN, NY 11211

WORK TITLE:

KT WALL DETAILS

SEAL & SIGNATURE:

DATE:

PROJECT No: 0913

WGS BY: MW, F

CHK BY: JH, JP

FWG No.: _____

 Δ_{-}

JOB ID No.:

PAGE No.:

9 OF 11

1 EXTERIOR WALL TYPES

$$3/4'' = 1'$$

1B RESTROOM WALL SECTION

$$\frac{3}{4}'' = 1'$$

2 INTERIOR WALL DETAILS

$$1-1/2'' = 1'$$

2 ROOF & CEIL'G DETAILS

$$1\ 1/2" = 1'$$

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REVISIONS:

1 31 Oct 2012

PROJECT:

HSU HOUSE

PROJECT ADDRESS:

94 NORTH FIRST STREET
BROOKLYN, NY 11211

DWG TITLE:

SEAL & SIGNATURE:

SCHEDULES

DATE:

19 Dec. 2012

PROJECT NO:

0913

DWG BY:

W4, FPO, SK, PV, JH, JC

CHK BY:

JH, JP

DWG NO:

A-801.00

DOOR NO:

PAGE NO:

6 OF 11

DOOR & HARDWARE SCHEDULE									
LOCATION	DOOR #	SIZE	TYPE	FIRE-RATING	FINISH	HINGE	LOCKSET	HARDWARE FINISH	NOTES
FRONT DOOR	102-0	36x90	HOLLOW MTL. FLAT PANEL	90 MIN.	GALVANIZED PAINT	LHR, SELF CLOSING	SCHLAGE 7800 SELECTRIC	ST.STL	ELEC. LATCH - INTERCOM - SCHLAGE SATIN NICKEL MAIL SLOT
ENTRY 102	102-1	36x96	HOLLOW MTL. FLAT PANEL	90 MIN.	PAINT	LHR, SELF-CLOSING	SCHLAGE SATURN	SATIN CHROME	
	X				PAINT				EXIST. TO REMAIN
REC RM 104	104-1	36x80	HOLLOW MTL. FLAT PANEL	90 MIN.	PAINT	RH, SELF-CLOSING	SCHLAGE SATURN	SATIN CHROME	
	104-2	42x80	SOLID CORE WD. - FLAT PANEL	N/A	PAINT	SLIDING, POCKET	TBD	SATIN CHROME	
	104-4	36x96	HOLLOW MTL. FLAT PANEL	N/A	PAINT	LH	SCHLAGE ELAN KEYED	SATIN CHROME	
	X								EXIST. TO REMAIN
BEDRM 1	201-1	32x84	SOLID CORE WD. - FLAT PANEL	N/A	PAINT	LHR	OMNIA ITEM 12, PRIVACY	ST. STL	TRANSOM AWNING ABOVE
	201-2	121x 24x84	SOLID CORE WD. - FLAT PANEL	N/A	PAINT	FRENCH IN	IKEA LANSÅ 17-1/2"	ST. STL	BALL LATCH
BEDRM 2	202-1	32x84	SOLID CORE WD. - FLAT PANEL	N/A	PAINT	LHR	OMNIA ITEM 12, PRIVACY	ST. STL	TRANSOM AWNING ABOVE
	202-2	121x 24x84	SOLID CORE WD. - FLAT PANEL	N/A	PAINT	FRENCH IN	IKEA LANSÅ 17-1/2"	ST. STL	BALL LATCH
HALL	203-1	30X84	SOLID CORE WD. - FLAT PANEL	N/A	PAINT	LHR	OMNIA ITEM 12	ST. STL	NO LOCK
BATH 2	204-1	32x80	SOLID CORE WD. - FLAT PANEL	N/A	PAINT	SLIDING, POCKET	SCHLAGE 991 PRIVACY	SATIN NICKEL	LOCK ON BATH SIDE
	204-2	32x80	SOLID CORE WD. - FLAT PANEL	N/A	PAINT	SLIDING, POCKET	SCHLAGE 991 PRIVACY	SATIN NICKEL	LOCK ON BATH SIDE
BATH 3	205-1	32x84	SOLID CORE WD. - FLAT PANEL	N/A	PAINT	LHR	OMNIA ITEM 12, PRIVACY	ST. STL	LOCK ON BATH SIDE
LIVING	206-1	36x108	ALUM. STOREFRONT	N/A	ANOD. ALUM.	RH	SCHLAGE SATURN S251RD-SAT	SATIN CHROME	DEADLOCK

1

DOOR & HARDWARE SCHEDULE
NTS

1

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REScheck Software Version 4.4.1
Compliance Certificate

Project Title: Hsu Loft

Energy Code: 2010 New York Energy Conservation
Construction Code
Location: Kings County, New York
Construction Type: Detached 1 or 2 Family
Glazing Area Percentage: 16%
Heating Degree Days: 4910
Climate Zone: 4

Construction Site:
94 N. 1st Street
Brooklyn, NY 11211

Owner/Agent:
Tishan Hsu

Designer/Contractor:
John Hong
SsD Architecture
325 W 38th St.
Suite 210
New York, NY 10018
212 248 7500
info@ssdarchitecture.com

Compliance: Passes using UA trade-off

Compliance: 16.7% Better Than Code Maximum UA: 472 Your UA: 393
The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules.
It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Glazing or Door U-Factor	UA
Ceiling 1: Flat Ceiling or Scissor Truss	965	38.0	12.0		17
Skylight 1: Metal Frame with Thermal Break Double Pane	180			0.500	90
Wall 1: Steel Frame, 16" o.c.	663	10.0	15.0		20
Window 1: Metal Frame with Thermal Break Double Pane	220			0.460	101
Door 1: Glass	80			0.460	37
Wall 2: Masonry Block with Empty Cells Interior Insulation	1240	0.0	9.0		102
Floor 1: All-Wood Joist/Truss Over Unconditioned Space	1042	40.0	0.0		26

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2010 New York Energy Conservation Construction Code requirements in REScheck Version 4.4.1 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title Signature Date

Project Notes:
FOR 1 STORY ADDITION TO PRE-EXISTING BUILDING

Project Title: Hsu Loft Report date: 03/27/11
Data filename: C:\Users\johnhong\Local0913_HsuLoft\0913_zoning-code\RESCHECK\HSULOFT_RESCHECK00.rck Page 1 of 1

PROJECT:

HSU HOUSE

PROJECT ADDRESS:

94 NORTH FIRST STREET
BROOKLYN, NY 11211

DWG TITLE:

ENERGY COMPLIANCE
REPORT

SEAL & SIGNATURE:

DATE:

21 AUG 2012

PROJECT No:

0913

DWG BY:

WW, FPD, SK, PV, JH

CHK BY:

JH, JP

DWG No:

EN-001.00

DOB ID No:

PAGE No:

9 OF 11

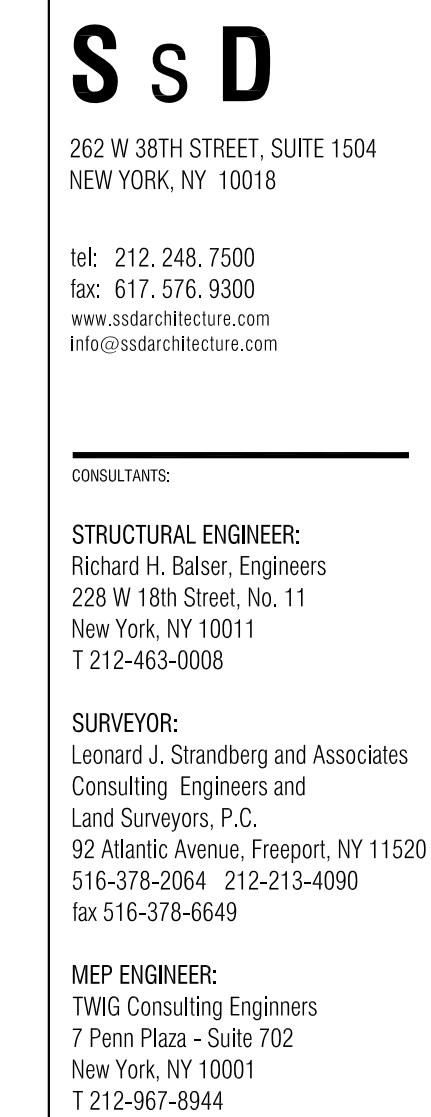


Diagram 1 (Left):

- EXIST. 8" REIN. CONCRETE MASONRY UNIT
- NEW COLUMN
- 50-YEAR RATED SEALANT
- EXIST. SLAB ON GRADE
- 20-MIL MOISTURE BARRIER UNDERLYING NEW CONCRETE FOOTING/SLAB

Diagram 2 (Right):

- EXIST. 8" REIN. CONCRETE MASONRY UNIT
- NEW COLUMN
- 50-YEAR RATED SEALANT

3 FOOTING DETAIL PLAN
1/2" = 1'



DATE: 10 Dec. 2012

PROJECT No.: 0913

DWG BY: W.W., F.P.D., S.K., P.V., J.H., J.C.

CHK BY: J.H., J.P.

DWG No:

S-102.00

DOB ID No.: PAGE No.: 11 OF 11