

GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR SHALL EXAMINE ALL AREAS IN WHICH HIS/HER WORK IS TO BE INSTALLED, AND SHALL REPORT ANY UNSUITABLE CONDITIONS. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR CONDITIONS OF THE FINISHED WORK AND NO CLAIM AS TO DEFECTS IN UNDERLYING WORK IS CONSIDERED AFTER WORK UNDER THIS CONTRACT IS STARTED.
- THE CONTRACTOR, BEFORE STARTING ANY WORK, SHALL VERIFY ALL DIMENSIONS AND LEVELS GIVEN FOR WORK UNDER THIS CONTRACT, IN CONJUNCTION WITH ARCHITECT'S or ENGINEER'S DRAWINGS AND DETAILS.
- DEMOLITION SHALL BE CARRIED OUT ACCORDING TO THE RULES OF THE DEPARTMENT OF BUILDINGS AND NOT WITHOUT TIMELY NOTIFICATION TO THE BUILDING DEPARTMENT.
- BUILDING TO CONFORM WITH APPLICABLE PROVISIONS OF THE MULTIPLE DWELLING HOUSING MAINTENANCE CODE & BUILDING DEPARTMENT'S RULES AND REGULATIONS.
- ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE RULES OF THE BUILDING CODE AND ANY OTHER AUTHORITY HAVING JURISDICTION. NO WORK SHALL BEGIN AT THE SITE UNTIL BUILDING DEPARTMENT APPROVAL AND REQUIRED PERMITS HAVE BEEN OBTAINED.
- CONTROLLED INSPECTIONS:
 - FIRE STOPPING
 - MECH / VENTILATION
 - STRUCTURAL / STABILITY
 - STEEL: BOLTED CONNECTIONS AND WELDING
 - CONCRETE / FOOTINGS
 - REINFORCING

TENANT SAFETY NOTES

- CONSTRUCTION WILL BE CONFINED TO AREA INDICATED, AND WILL NOT CREATE DUST, DIRT OR OTHER SUCH INCONVENIENCES TO APARTMENT UNITS WITHIN THE BUILDING.
- CONSTRUCTION OPERATION WILL NOT BLOCK HALLWAYS OR MEANS OF EGRESS FOR TENANTS OF THE BUILDING.
- CONSTRUCTION OPERATION WILL NOT INVOLVE INTERRUPTION OF HEATING, GAS, WATER OR ELECTRICAL SERVICES TO OTHER OCCUPANTS OF THE BUILDING.
- CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS DETERMINED BY THE BUILDING'S REGULATIONS.
- THE STRUCTURAL INTEGRITY OF THE BUILDING IS TO BE PROTECTED AT ALL TIMES.
- BUILDING SECURITY TO BE MAINTAINED TO PREVENT UNAUTHORIZED PERSONS FROM ENTERING BUILDING.
- ALL EXISTING EXITS, FIRE PROTECTION DEVICES AND ALARMS SHALL BE CONTINUOUSLY MAINTAINED IN WORKING ORDER.

HOUSING MAINTENANCE NOTES

- PAINTING OF PUBLIC PARTS & WITHIN DWELLING TO COMPLY WITH SECTION D26-12.01 H.M.C. & SECTION 80 M.D.L.
- PAINTING OF WINDOW FRAMES & FIRE ESCAPES TO COMPLY WITH SECTION D26-12.03 H.M.C.
- WALLS OF COURTS & SHAFTS TO BE OF LIGHT COLORED SURFACE AS PER SECTION D26-12.05 H.M.C. & SECTION 29 M.D.L.
- PREMISES TO BE MAINTAINED & KEPT FREE OF RODENT & INSECT INFESTATION AS PER SECTION D26-13.03 & D26-13.05 H.M.C.
- RECEPTACLES FOR THE COLLECTION OF WASTE MATTER TO BE PROVIDED AS PER SECTION D.26-14.03 & D26-14.05 H.M.C. & SECTION 81 M.D.L.
- DRAINAGE OF ROOFS, COURTS, & YARDS TO COMPLY WITH SECTION D26-16.03 H.M.C. & SECTION 77 SUBD. 3 M.D.L.
- YEARLY INSPECTION OF CENTRAL HEATING PLANT BY QUALIFIED PERSON TO BE MADE AS PER SECTION D26-17.05 H.M.C. CENTRAL HEAT & HOT WATER TO BE PROVIDED AS PER SECTION 79 SUBD. 1 M.D.L.
- PROPER ELECTRIC LIGHTING EQUIPMENT WITHIN DWELLING TO BE PROVIDED & MAINTAINED AS PER SECTION D26-19.01, D26-19.03 & D26-19.05 H.M.C.
- PROPER ELECTRIC LIGHTS TO BE PROVIDED NEAR ENTRANCE WAYS, YARDS, & COURTS AS PER SECTION D26-19.07 H.M.C. ON SEPARATE CIRCUITS OR CONNECTED TO HOUSE LINE SERVICING PUBLIC HALLS, & IN ACCORDANCE WITH REQUIREMENTS & APPROVAL OF THE DEPT. OF WATER SUPPLY, GAS & ELECTRICITY AS PER SECTION 35 & 20, SUBD. 7A M.D.L. & DEPT. RULES & REGULATIONS.
- B.S.A. APPROVED PEEPHOLES APPROXIMATELY 5 FEET ABOVE FINISHED FLOOR TO BE PROVIDED IN ENTRANCE DOORS OF DWELLING UNITS AS PER SECTION D26-20.01 H.M.C. & DEPT. RULES & REGULATIONS.
- PROPERLY MOUNTED & SECURED POLISHED METAL VIEWING MIRRORS TO BE PROVIDED WITH SELF SERVICE ELEVATORS (IF ANY) AS PER SECTION D26-20.03 H.M.C. & DEPT. RULES & REGULATIONS.
- KEY LOCKS IN THE ENTRANCE DOORS OF EACH DWELLING UNIT WITH AT LEAST ONE KEY TO BE PROVIDED BY OWNER AS PER SECTION D26-20.05 H.M.C. HEAVY DUTY LATCH SET DEAD BOLT THUMB TURN INSIDE.
- APPROVED TYPE MAIL RECEPTACLES & DIRECTORY OF PERSONS LIVING IN THE DWELLING TO BE PROVIDED BY OWNER AS PER SECTION D26-12.01 H.M.C. & REGULATIONS OF THE POST OFFICE DEPT. & SECTION 57 M.D.L.
- PROPER FLOOR SIGNS TO BE PROVIDED IN PUBLIC HALL NEAR STAIRS & ELEVATOR WITHIN STAIR ENCLOSURE AS PER SECTION D26-21.03 H.M.C. & DEPT. RULES & REGULATIONS.
- PROPER STREET NUMBER TO BE PROVIDED IN FRONT ON DWELLING AS PER SECTION 82(3)-1.0 ADMIN. CODE, SEC. D26-21.05 H.M.C. & RULES & REGULATIONS OF BOROUGH PRESIDENT.
- PROPER JANITORIAL SERVICES TO BE PROVIDED AS PER SECTION D26-22.03 & D26-22.5 H.M.C.
- EVERY KITCHEN & KITCHENETTE TO BE PROVIDED WITH SINK HAVING MINIMUM 2" WASTE & TRAP PER SECTION D26-32.01 H.M.C.
- ALL COMBUSTIBLE MATERIAL WITHIN ONE FOOT OF COOKING APPARATUS TO BE PROPERLY FIRE RETARDED & MINIMUM 2 FOOT CLEARANCE MAINTAINED ABOVE EXPOSED COOKING SURFACE. COMBUSTIBLE MATERIAL BETWEEN 2' & 3' ABOVE EXPOSED SURFACE TO BE FIRE RETARDED. SECTION D26-32.05 H.M.C. & DEPT. RULES & REGULATIONS, SEC. 33, SUBD. 3 M.D.L.

- NO KITCHEN SHALL BE OCCUPIED FOR SLEEPING PURPOSES SEC. D26-23.05 H.M.C.
- REGISTRATION STATEMENT TO BE FILED AS PER SECTION D26-4.101 & D26-4.103 H.M.C.
- REGISTRATION IDENTIFICATION SIGN CONTAINING DWELLING SERIAL NUMBER TO BE POSTED AS PER SECTION D26-4.115 H.M.C.
- IDENTIFICATION OF MANAGING AGENT OR OWNER TO BE INDICATED ON TENANTS RECEIPT AS PER SECTION D26-4.117 H.M.C.
- ALL BATHROOMS, TOILETS & BATHING COMPARTMENTS TO HAVE CERAMIC TILE FLOOR & 6" MINIMUM CERAMIC TILE BASE WALLS & CEILINGS PLASTER AS PER SECTION D26-31.03 H.M.C.
- ALL DOORS LEADING TO PUBLIC HALLS SHALL BE SELF CLOSING. NO TRANSOMS OR PLAIN GLASS PANELS.
- BUILDING TO COMPLY WITH SECTION 64 M.D.L. GAS METERS, GAS APPLIANCES & ARTIFICIAL LIGHTING.
- BUILDING TO COMPLY WITH SECTION D26-33.03 H.M.C. MAXIMUM OCCUPANCY MIN. ROOM AREA, ART. 33, D26-33.01 SUBD. B & E.
- ENTIRE BUILDING TO COMPLY WITH LOCAL LAWS APPLICABLE TO ART. 6 WITH H.M.C. & DEPT. RULES & REGULATIONS.
- ALL NEWLY CREATED PARTITIONS IN HALLS TO BE FIRE RETARDED ON BOTH SIDES & FIRE STOPPED AT TOP & BOTTOM AS PER DEPT. RULES & REGULATIONS, RULE 1.2.10 & RULE 1.7.

ABBREVIATIONS

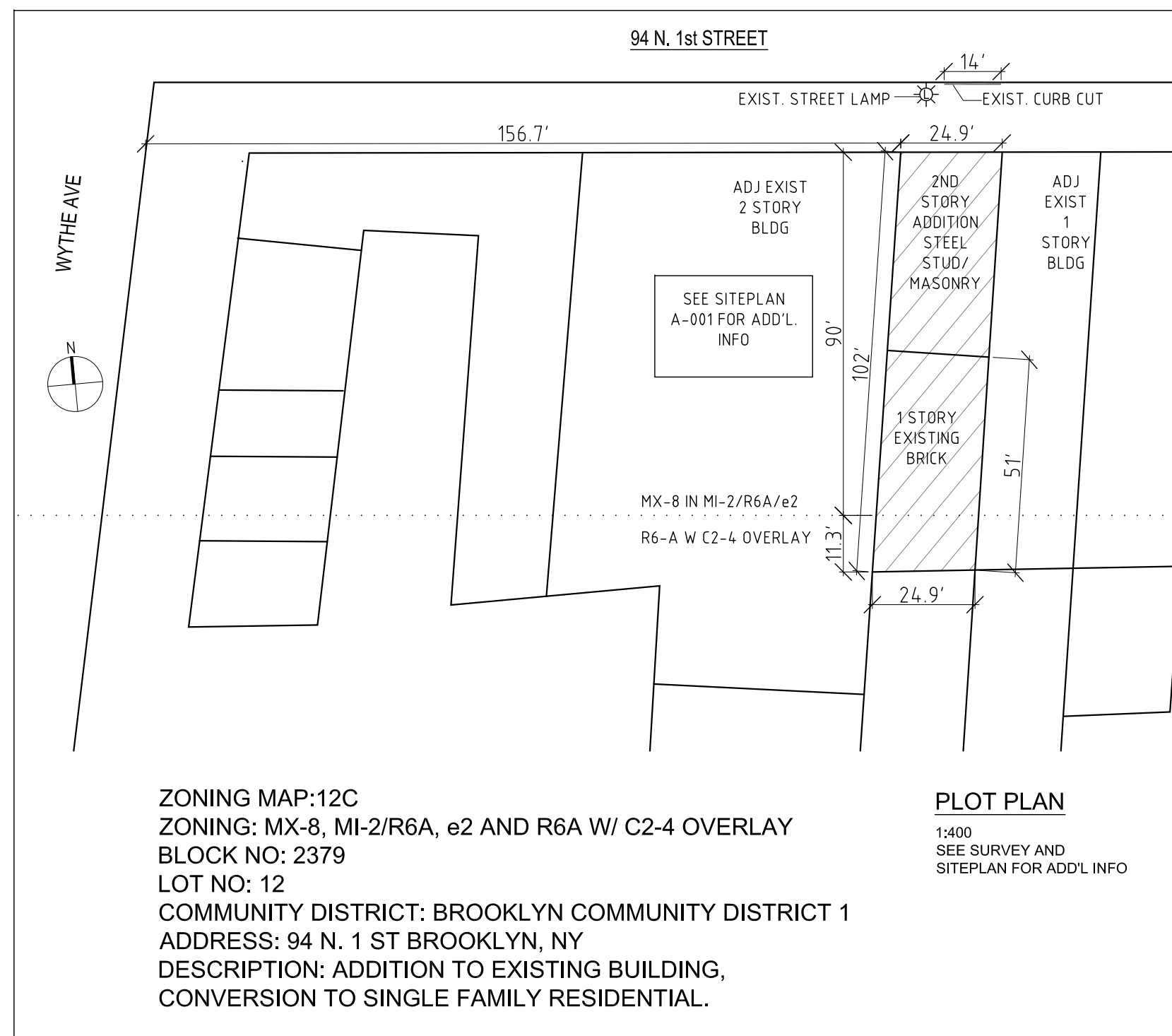
ADD'L	additional
AFF	above finished floor
AHU	air handling unit
ANOD.	anodized
B.O.	by others
CAB.	cabinet
CEIL'G.	ceiling
CL	center line
CLR.	clear
CMU	concrete masonry unit
C.O.	cleanout
COL.	column
CONC.	concrete
C.P.	compactor
D.	dryer
DBL.	double
DIA.	diameter
DIR.	direction
DN	down
DR.	door
D.W.	dishwasher
DWG.	drawing
ELEC.	electrical
ELEV.	elevation
EQ.	equal
EQUIP.	equipment
EXIST.	existing
EXT.	exterior
FF	finished floor
FIN.	finished
FIXT.	fixture
FLOOR	floor
FLUOR.	Flourescent
FDN.	foundation
GEN.	general
GWB	gypsum wall board
HVAC	heat / vent / air-condition
HC	handicap
INSUL.	insulation
JT.	joint
LOC.	location / locate
L.V.	low-voltage
MAX.	maximum
MIN.	minimum
M.W.	microwave
MT'D.	mounted
NTS	not to scale
O.C.	on center
P.T.D.	pressure treated
P.T.	pressure treated
QTY.	quantity
REG.	register
REINF.	reinforce
REQ'D	required
R.O.	rough opening
RM	room
RR	roof rafters
SIM.	soffit
SOF.	similar
SPEC.	specification
SS	stainless steel
STL.	steel
T	tread
T.B.D.	to be determined
T&G	tongue in groove
THK.	thick / thickness
T.O.	top of
T.R.	to remain
TYP.	typical
U.O.N.	unless noted otherwise
U.S.	underside
VCT.	vinyl composition tile
VERT.	vertical
V.I.F.	verify in field
WC	washing machine
WD	water closet
W.D.W.	window
Z.C.C.	zinc-coated copper

SYMBOLS:

	= DOOR #
	= DETAIL
	= SECTION
	= CEILING HGT. AFF
	= INTERIOR ELEVATION DWG. # / SHEET
	= CUT LINE
	= NEW INTERIOR PARTITION
	= 2-HR RATED WALL
	= EXIST. INTERIOR PARTITION TO REMAIN
	= EXIST. INTERIOR PARTITION TO BE DEMOLISHED
	= H.C. CLEARANCE 30' x 48'
	= APPD. TYPE COMBINATION SMOKE DETECTOR (PER LL62/81) & CARBON MONOXIDE DETECTOR (PER LL 7/04)

ZONING NOTES (CONT.)		
SINGLE STORY ADDITION ON SECOND LEVEL COMPLIES WITH ZR-23 AND ZR-123 AND ZR-77 FOR MIXED R6A AND MX-8 DISTRICT		
TOTAL EXISTING LOT AREA	24.9 x ±101 =	2526 sf
LOT AREA IN MX-8, MI-2/R6A	24.9 x ±90 =	2255 sf
LOT AREA IN R6A/C2-4 OVERLAY	24.9 x ±11 =	271 sf
REQD. MAX FLOOR AREA IN MX-8, MI-2/R6A (23-14.4, 23-94.2, 123-63)	2255 x 2.7 =	6088 sf
REQD. MAX FLOOR AREA IN R6A/C2-4 OVERLAY (23-14.4, 23-94.2, 123-63)	271sf x 2.7 =	731 sf
TOTAL REQ'D MAX FLOOR AREA	6088 + 731 =	6819 sf
EXISTING FLOOR AREA	24.9 X ±101 =	2526 sf
PROPOSED FLOOR AREA OF NEW ADDITION	24.9 X 50	1245 sf
PROPOSED TOTAL FLOOR AREA	(24.9 X 101 EXIST.) + (24.9 X 50 PROPOSED) =	3783 sf
REQD. MAX LOT COVERAGE IN MX-8, MI-2/R6A (23-14.5, 123-63, 77-24)	2255 X 0.60 =	1353 sf
REQD. MAX LOT COVERAGE IN R6A/C2-4 OVERLAY (23-14.5, 123-63, 77-24)	271 x 0.60 =	163 sf
TOTAL REQ'D MAX LOT COVERAGE	1344 + 171 =	1516 sf
PROPOSED LOT COVERAGE, RESIDENTIAL CONVERSION, NON-COMPLYING CONVERSION (123-67, 54-31)	24.9 X ±101 =	2526 sf
REQD. REAR YD. (123-67, ZR-15, 54-31)	SEE NOTES ON LEFT - RESIDENTIAL CONVERSION	0' EXIST. ON 1ST FLR TO REMAIN
PROPOSED REAR SETBACK OF NEW 2ND STORY ADDITION	51'-54" (VARIES) TO REAR LOT LINE OR 40'-43" (VARIES) TO DISTRICT BOUNDARY	0' IN EXISTG. BLDG, 0' IN PROPOSED ADDITION WHICH IS WHOLLY IN MX-8
REQD. SIDEYARD, ZR123-651	NONE IN SPECIAL MIXED USE DISTRICTS & FOR SINGLE-FAM	0' IN EXISTG. BLDG, 0' IN PROPOSED ADDITION WHICH IS WHOLLY IN MX-8
REQD. MAX # D.U. 23-22	2526 X 2.7 / 680 =	10
PROPOSED # D.U.		1
ACCESSORY OFF-STREET PARKING (123-72)	1 PER DWELLING UNIT REQ'D.	1 EXIST'G. PARKING SPACE PROVIDED
ACCESSORY OFF-STREET BICYCLE PARKING (25-80)	1 PER 2 D.U. (WAIVED FOR 10 D.U. OR LESS)	N/A - LESS THAN 10 D.U.
REQD. MAX HEIGHT/SET BACK (23-66.2, 77-28)	MAX BASE 60', MAX HEIGHT 70'	PROPOSED HEIGHT 28', NO SETBACK
MIN. REQ'D LOT AREA FOR RESIDENTIAL (23-32, 123.61)	1700 MIN. LOT AREA, 18' MIN. LOT WIDTH REQ'D.	2526 sf LOT AREA, 24.9' LOT WIDTH PROVIDED
REQD. USE, 77-11, 123-20	ALL USES PERMITTED IN DESIGNATED RESIDENTIAL DISTRICT R6A PERMITTED	
PROPOSED USE	1 UNIT OF 'GENERAL' RESIDENCE, USE GROUP 2	
REQD. ENVIRONMENTAL CONDITIONS 123-32	ALL NEW WINDOWS SHALL PROVIDE 35db(A) OF ATTENUATION, ALTERNATE MEANS OF VENTILATION THROUGH CENTRAL A.C.	
STREET TREES 28-03, 123-61, NY TREE PLANTING STANDARDS	50% PROPOSED INCREASE IN FLOOR AREA > 20% REQ'D. 1 TREE PER 25' FRONTAGE REQ'D. BECAUSE OF EXIST'G. LIGHT POST & CURB CUT, OFFSITE TREE PROPOSED (SEE SITEPLAN, A-001)	
REQ'D MINIMUM D.U. 28-21		400 SF
PROPOSED MINIMUM D.U.		3783 sf > 400 SF. COMPLIES
WINDOWS 28-22	ALL WINDOWS SHALL BE DOUBLE-GLAZED AS REQUIRED	
REFUSE STORAGE 28-23		N/A - LESS THAN 9 D.U.
RECREATION SPACE 28-31		N/A - LESS THAN 9 D.U.

FIRE-RATING SUMMARY (TABLE 3-4)	
CONSTRUCTION CLASS I-C (2-hr PROTECTED), OCCUPANCY GROUP J-3	
EXTERIOR BEARING WALLS @ LOT LINE	2 HR
EXTERIOR NON-LOAD BEARING WALLS @ FACADE AND REAR OVER 30' SEPARATION	N.L.
INTERIOR BEARING WALLS & PARTITIONS	2 HR
COLUMNS SUPPORTING MORE THAN ONE FLOOR	2 HR
FLOOR CONSTRUCTION	1½ HR
ROOF CONSTRUCTION	1 HR



EXISTING CERTIFICATE OF OCCUPANCY: #173454 DATED DEC 8, 1960 FOR FACTORY AND GARAGE FOR 4 MOTOR VEHICLES

CONSTRUCTION CLASSIFICATION: CLASS 3 NON-FIRE PROOF CONSTRUCTION PER 1938 CODE

ZONING NOTES	
1ST FLOOR EXISTING STRUCTURE COMPLIES WITH ZR-15, PER 123-67 RESIDENTIAL CONVERSION	
15-011 APPLICABILITY WITHIN SPECIAL DISTRICTS	CONFORMS
15-024 NOTICE OF FILING	WILL COMPLY
15-025 DOUBLE GLAZED WINDOWS	CONFORMS
15-112 LIGHT AND AIR	SEE CALCS IN PLAN
15-12 OPEN SPACE EQUIVALENT	N.A.
"E" ZONING DESIGNATION:	OPPN 1/03 AND LITTLE E DEP APPROVAL ONLY REQUIRED IF THE ENLARGEMENT INVOLVES EXCAVATION/FOUNDATI ON WORK.

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PROJECT:
HSU HOUSE

PROJECT ADDRESS:
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BROOKLYN, NY 11211

DWG TITLE:
TITLE PAGE

SEA & SIGNATURE:

DATE: 10 Dec. 2012

PROJECT No: 0919

DWG BY: WW, PPO, SK, PV, JK

CHK BY: JH, JP

DWG No: A-000.01

DOB ID No: 1 OF 11

HSU HOUSE

94 N. 1st STREET BROOKLYN, NY

DRAWING LIST:

- | | |
|------|---|
| A000 | COVER SHEET |
| | SURVEY |
| | RESCHECK COMPLIANCE CERTIFICATE |
| A001 | SITE PLAN |
| D101 | DEMO PLAN |
| A101 | NEW WORK PLAN |
| A102 | NEW WORK ROOF PLAN/
PLUMBING RISER DIAGRAM/
GAS RISER DIAGRAM |
| A201 | SECTIONS/ELEVATIONS |
| A202 | INTERIOR ELEVATIONS |
| A401 | WALL SECTIONS |
| S101 | STRUCTURAL PLANS |
| S102 | STRUCTURAL PLANS/ SECTION |
| E001 | ENERGY COMPLIANCE REPORT |